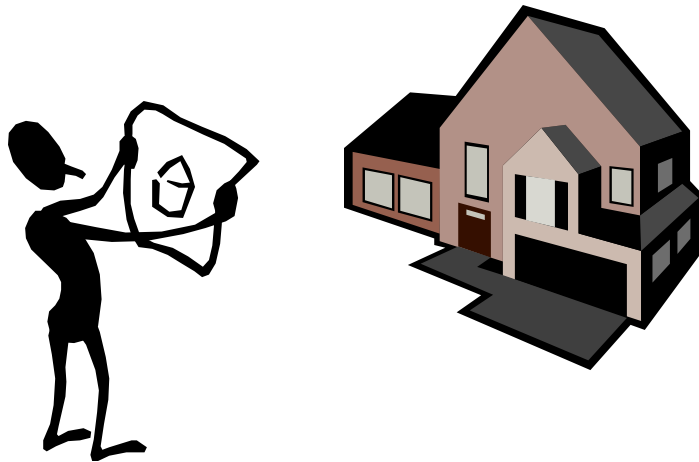


# **Application Packet**

**for**

## **Single Family Residence**



City of Paso Robles  
**BUILDING DIVISION**  
1000 Spring Street  
Paso Robles, CA 93446

Phone: (805) 237-3850

Fax: (805) 238-4704



# CITY OF EL PASO DE ROBLES

*"The Pass of the Oaks"*

**Effective immediately** a submittal fee will be required on all Building and Engineering permit applications submitted to the Community Development Department:

<b>Construction Type</b>	<b>Amount</b>
Com/Ind/Hotel New	Based on Sq. Ft.
Com/Ind/Hotel Remodel, Addition, Sign	\$220.00
Demolition	\$110.00
Grading	\$148.00
Mechanical/Plumbing/Electrical	\$110.00
Residential New	\$2,000.00
Residential Remodel, Addition, Patio Covers	\$220.00
Swimming Pool, Spa	\$220.00

TO: CONTRACTORS, INDIVIDUALS SUBMITTING FOR BUILDING PERMIT FOR A SINGLE FAMILY RESIDENCE

FROM: CITY OF PASO ROBLES BUILDING DIVISION

Effective January 1, 2008 building plan check submittals for single family residential construction shall not be accepted or processed unless the following items are provided at the time of submittal:

- **Three (3)** sets of building plans. (**FOLDED**)
- **One (1)** additional copy of the floor plan, with dimensions (for County Assessors)
  
- **Plot/Grading Plans**
  - In addition to the building plans, **THREE (3)** separate 24" x 36" plot/site plans shall be included (see attached sample).
  - An excavation or fill exceeding those amounts allowed under the Paso Robles Municipal Code, Section 20.04.040 shall provide *three (3) copies of a grading plan prepared by a Civil Engineer.*
  
- **Two (2)** sets of truss calculations.
- **Two (2)** sets of energy calculations.
- **Two (2)** copies of soils report with soil classification, expansive index, *foundation recommendation*, and design bearing capacity meeting those requirements of section 1804.3 UBC.
- **Two (2)** sets of structural calculations by a licensed Architect or Engineer.
- If City sewerage disposal system is not available, **three (3)** copies of percolation test and septic system design.
- **Submit** a complete building application with consent of landowner form.
- *A non-refundable plan check fee, for the full estimated cost of plan check services, is required at the time of package submittal.*

**INCOMPLETE SUBMITTAL WILL NOT BE ACCEPTED. ALL APPLICABLE INFORMATION MUST BE INCLUDED AT TIME OF PLAN REVIEW SUBMITTAL.**

Please make sure that your contractor has a copy of his current workers' compensation insurance filed with the Building Division. If owner/builder, complete the owner/builder verification form with a complete list of all sub-contractors and their state license number. A building permit **cannot** be issued until all this information is submitted. All general contractors and/or sub-contractors are required to have a current city license to work in the City of Paso Robles.

*Effective January 3, 2006, all plan review and permit issuance for Underground Fire Lines, Fire Sprinkler Systems, Fire Alarm Systems, and Hood Systems will occur at the Department of Emergency Services, 900 Park Street, Paso Robles, California, 805-227-7560.*

**Note!** *The installation of curb, gutter, sidewalk, street and alley paving will be required for any project for which the valuation exceeds \$25,000.00. The amount of improvements required shall be equal to 25% of the project value as determined using Building Standards Publications. Should you have any questions if this applies to your project, please contact the City Engineer at (805) 237-3860. (Update April 2007)*

## EXCAVATION AND GRADING:

### DEFINITIONS:

- A. PLOT PLAN (Site Plan); Required when construction is to be placed on a previously graded subdivision lot, already approved by the Engineering Department. The plan should accurately depict placement of construction, showing how it interfaces with the site. Show lot corners, elevations, finished pad heights, oak trees, if any, including their dripline, drainage patterns and drainage facilities, etc..
- B. DRAINAGE PLAN; Required when site is not improved, but earthwork to be done does not require a grading permit per Appendix Chapter 33 of the Uniform Building Code. The plan should contain the same basic information as a plot plan (as defined above) with the exception that it will incorporate references to existing and proposed elevations and final disposition of drainage patterns.
- C. GRADING PLAN; Required on all Commercial. Industrial projects, hillside lots (as defined below), and any project requiring a grading permit per Appendix Chapter 33 of the Uniform Building Code. All grading plans shall be prepared by a Civil Engineer or Architect licensed to practice in the State of California.
- D. ADDENDUM OR "AS BUILT" PLANS; Required for submittal and review when deviation from the originally "approved" plans has occurred. Projects cannot receive "final" inspection until plans have been reviewed and approved by the City Engineer.
- E. HILLSIDE; Hillside development (slopes in excess of 15%) require an accurate topographical map and grading plan prepared by a registered Civil Engineer, clearly showing the entire area on which development is to occur, using an appropriate scale and contour interval. This map shall also locate and identify all existing oak trees six inches or greater in diameter at a point three feet from grade. Additionally, plans shall provide grading cross sections, construction cross sections, driveway and turn-a-round profiles, erosion control information, etc..
- F. PERMIT APPLICATION REQUIRED FOR OAK TREE TRIMMING/REMOVAL; Permits are required to be secured from the City Engineer to remove oak trees 3" to 6" in diameter. The removal of trees and/or trimming of limbs larger than 6" require approval by City Council.



# CITY OF EL PASO DE ROBLES

*"The Pass of the Oaks"*

## CITY OF PASO ROBLES STANDARD PLAN SUBMITTAL REQUIREMENTS:

### **New Single-Family**

All plans and applications shall include an accurate description of the entire scope of work. Plans must be legible blue prints or copies (no ink) fully dimensioned and drawn to scale (minimum 1/8" scale, 1/4" recommended). General Notes and details which do not apply to the proposed construction project shall not be included on the plans. All plans submitted must be signed by the person responsible for their preparation. When required, plans must be wet stamped and signed by a licensed architect or engineer registered in the State of California.

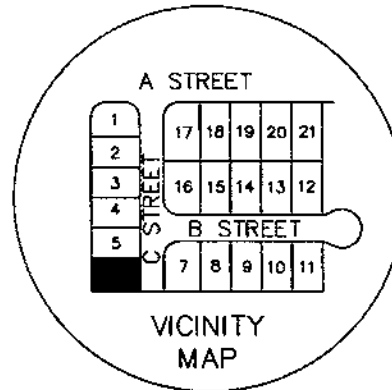
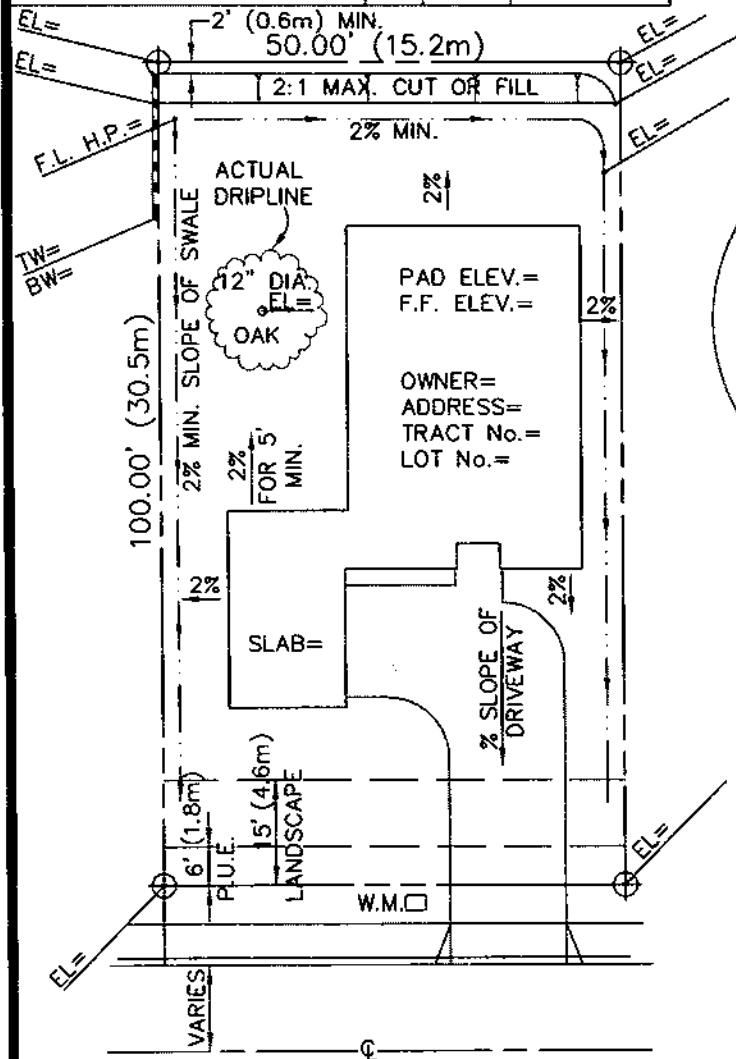
1. A minimum of three (3) sets of building plans folded if less than 20 sheets. Larger plans may be rolled.
2. One (1) additional copy of the floor plan, with dimensions for County Assessors Office. Include the address and Assessors Parcel Number on this sheet.
3. In addition to the site plans attached to the building plans, three (3) separate 24" X 36" site plans shall be submitted for review by the Engineering Division. Separate grading permit with plans prepared by a Civil Engineer may be required per City of Paso Robles Municipal Code Section 20.04.040.
4. Two (2) sets of Truss Calculations.
5. Two (2) sets of Energy Calculations.
6. Two (2) copies of Soils Report per Section 1802.6 CBC to include but not limited to Soils Classification, Expansive Soils, Bearing Capacity and recommendations for mitigation of soils conditions.
7. Two (2) sets of Structural Calculations by a Licensed Architect or Engineer.
8. Plans must contain the following sheets.
  - Title Sheet (can also include site plan) with the following information:
    1. Project address and street name, APN, Tract, Lot number.
    2. Name, address, and telephone numbers of the owner and plan preparer.
    3. All property lines, easements and setbacks to all structures. Provide a north arrow.
    4. Building footprint with all dimensions for architectural projections, eaves, balconies, bay windows, etc. Show all walks, driveways, patios, decking, trees and driveways.
    5. Grade elevations at property corners, driveways, building corners, finish elevations of garage and house floors.
    6. Sheet index and identification of sheets.
    7. Slope of grades, retaining walls, top or toe of slopes.

- Floor Plan for each floor or level, fully dimensioned:
  1. Every room shall be identified as to use.
  2. Location size of all doors, windows and stairs if applicable.
  3. Location and identification of all appliances/fixtures.
- Foundation Plan fully dimensioned:
  1. Show all footing widths, depths, reinforcement, location and identification of all holdowns and shear walls, details and soils requirements.
- Floor Framing Plan (if applicable) fully dimensioned:
  1. Show all floor joist or TJI size and spacing, beams, girders or headers supporting floor members. Under floor clearances and ventilation requirements.
- Roof Framing Plan fully dimensioned:
  1. Show all roof rafter size and spacing or trusses. All trusses must be identified per truss calculation package.
  2. Show roof sheeting type and span. Identify nailing requirements.
  3. Show all required mechanical connectors such as drag ties, clips etc.
  4. Show location and type of shear walls. Provide details for load path of from roof to foundation.
- Sections fully dimensioned:
  1. Identify sections for location at floor plan.
  2. Provide all detail identification.
  3. Show room heights.
- Elevation Plan fully dimensioned:
  1. Provide at minimum all four elevation orientation. Additional elevations may be required for clarity.
  2. Identify roof materials and pitch.
  3. Identify all exterior wall features such as window size, door size and architectural features.
- Provide complete Plumbing, Electrical and Mechanical Plans in sufficient detail for code compliance. Provide all notes necessary for plan review and construction.
- Provide complete Detail Plans with correct identification of location.
- Energy Compliance Sheet (also referred to as T-24) with required CF-1R and MF-1R, WS-5R from Energy Calculation work sheets.

**This is not a comprehensive plan review list and should not be construed to provide all necessary information needed for a complete plan review. This is intended for formatting of proposed plans to assist in developing basic plan design.**

REVISIONS			
DESCRIPTIONS	BY	DATE	APPROVED

NOTE: SETBACKS PER PLANNING DIVISION



STANDARD NOTES

1. DRAINAGE SHALL BE 2% AWAY FROM FOUNDATION FOR A MINIMUM OF 5'
2. CU YD CUT \_\_\_\_\_  
CU YD FILL \_\_\_\_\_
3. ALL GRADING AND DRAINAGE SHALL CONFORM TO CHAPTER 70 OF THE U.B.C.
4. WORK IN THE PUBLIC R/W REQUIRES AN "ENCROACHMENT PERMIT" FROM FROM THE ENGINEERING DIVISION.
5. SIDEYARD IMPROVEMENTS SHALL NOT OBSTRUCT DRAINAGE.
6. OVERALL DRAINAGE SHALL BE AT 2% SLOPE, 1% WITH PRIOR APPROVAL FROM THE CITY ENGINEER.
7. 2' MIN. SETBACK FROM P/L TO TOP OR TOE OF SLOPE.

PLOT PLAN REQUIREMENTS

1. THIS STANDARD IS TO BE USED FOR PAD GRADED LOTS OR LOTS WITH MINIMAL GRADING (THOSE EXEMPT FROM A GRADING PERMIT PER U.B.C. SEC. 7003, AND NOT CONSIDERED A "HILLSIDE LOT") ONLY. HILLSIDE LOTS (10% OR MORE) MUST BE 24"x36" FORMAT AND SIGNED BY A REGISTERED ENGINEER OR ARCHITECT.
2. FOR OTHER THAN PAD GRADED LOTS, EXISTING AND PROPOSED CONTOURS ARE REQUIRED.
3. SHOW ALL EASEMENTS.
4. INDICATE THE FOLLOWING: SCALE, NORTH ARROW, VICINITY MAP, CORNER ELEVATIONS, LOCATION OF C.G & S IN RELATION TO P/L AND C/L OF STREET, ALL SETBACKS (SEE R-1 ORD. FOR SETBACK REQUIREMENTS), SLOPE OF DRIVEWAY, PAD OR F.G. ELEVATION AT FOUNDATION, F.F. ELEVATION, HIGH POINT ELEVATION OF DRAINAGE SWALE, ELEVATION AT TOP AND BOTTOM OF SLOPES, DIMENSIONS OF THE LOT, DRAINAGE PATTERN AND SLOPE OF DRAINAGE, EXISTING CUT OR FILL SLOPES, AND TRACT, LOT NUMBERS, ADDRESS AND OWNER.
5. SHOW LOCATION AND DETAIL OF ALL PROPOSED RETAINING WALLS WITH ELEVATION AT TOP AND BOTTOM OF WALLS. WALLS OVER 4' IN HEIGHT MEASURED FROM THE BOTTOM OF THE FOOTING, AND WALLS SUPPORTING A SURCHARGE, ARE REQUIRED TO BE ENGINEERED.
6. ANY TWO STORY PORTION OF A STRUCTURE MUST BE A MIN. OF 10' FROM SIDE P/L.
7. SHOW EXACT LOCATION, DIAMETER, DRIPLINE, AND EXISTING ELEVATION AT BASE OF ALL OAK TREES. PLANS SHALL BE ACCOMPANIED BY A CERTIFICATE BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR ATTESTING TO THE ACCURACY OF THE TREE TRUNK AND DRIPLINE LOCATIONS WHEN EXISTING OAK TREES ARE IMPACTED IN ANY WAY BY CONSTRUCTION.
8. OFF-SITE PUBLIC IMPROVEMENTS (CURB, GUTTER, SIDEWALK, PAVING) MAY BE REQUIRED BY THE CITY ENGINEER.

DRAWN BY:  
C.A.C.  
DESIGNED BY:  
DATE:  
4/18/94  
FILE NAME:  
PR-M-31.DWG

CITY OF PASO ROBLES  
ENGINEERING DIVISION  
STANDARD PLOT PLAN  
FOR  
SINGLE FAMILY PROJECTS

DRAWING NO.  
M-3.1



## Time Frame for Completion of the Plan Review Process

City of Paso Robles Building Division Phone (805) 237-3850 Fax (805) 238-4704

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### ATTENTION CONTRACTORS AND DEVELOPERS:

Effective December 14, 2000, quoted time frames for completion of the plan review process for Single Family Residence and Commercial/Industrial projects (excluding that time consumed by the contractor or developer for correction and/or amendment) shall be as follows:

#### Initial plan review (first plan check):

*Forty-five (45)* working days (this excludes weekends and holidays) will be required to complete the initial plan review process.

#### Second plan review (plans recheck):

*Forty-five (45)* working days (this excludes weekends and holidays) will be required to complete the second plan review (recheck).

#### Plan review for small permits:

*Thirty (30)* working days for initial plan review for all small permits which include; addition, remodel, tenant improvements, patio covers. Allow *twenty (20)* days to complete the second plan review (recheck).

- \*\* Please note that the time frames quoted above do not include that time period when plans are in the possession of the contractor, developer, drafts person, or architect for correction and/or amendment.
- \*\* Requests from individuals for priority plan review on initial submissions or rechecks will not be acknowledged. Plans shall be reviewed on a first come, first serve basis.
- \*\* The Building Division will neither quote nor be responsible for that time frame required by the City Engineering Division to process site drainage plans, or grading plans. Those time frames must be discussed with the City Engineer.

## BUILDERS

Effective January 1, 1992, Senate Bill 493, codified as Revenue and Taxation Code Section 72(c), became effective. This law requires a copy of the floor plan, for use by the Tax Assessor, to be filed with the Building Division when the approved set of building plans are filed.

THE SAN LUIS OBISPO COUNTY ASSESSOR requires:

1. A legible copy of the floor plans of all new construction with all dimensions and angles, legible and clearly delineated.
2. The drawings may be any size from 8½" x 11" (smallest) to "E" size drawings (largest).
3. On plans for additions and remodels, the drawing should include where the additions attach to the existing building and any interior alterations that are being made.
4. The correct Assessor's Parcel Number or Situs Address shall be noted on the plans.

Your cooperation will allow the Assessor to do his job while reducing disturbances to you at the job site.

If you have any questions, contact the Building Division of the Community Development Department.



**CITY OF EL P a s DE ROBLES**  
*"The Pass of the Oaks"*

February 26,2008

**SUBJECT:** Penalties for Work Performed Without Required Permits / Approvals

The City has recently experienced a growing number of instances where developers, contractors and/or property owners have undertaken grading, construction and related work without first obtaining the necessary City permits or approvals. The number and extent of these problems have made it necessary to discuss the penalties for work occurring without City permits I approvals.

At its February 20,2001 meeting, the Paso Robles City Council reviewed a report on the problem of work occurring without permits I approvals and directed City staff and the City Attorney to take steps to address these code violations through the use of criminal prosecution, as authorized by the City's Municipal Code.

Please note that under criminal prosecution, the maximum penalties for work being done without the required permits / approvals are fines of \$1,000 per day and/or 6 months imprisonment. These penalties have long been a part of the City's Municipal Code, and the purpose of this notice is to advise you that the City will be actively enforcing its provisions.

The City wishes to avoid criminally prosecuting any person doing work occurring without a required permit or approval. Therefore, your cooperation and understanding would be sincerely appreciated. In that context, you are encouraged to contact this office any time you have a question regarding whether or not a particular project or activity would require a City permit or City approval.

Please feel free to contact me should you have any questions or other information needs.

Sincerely,



**Ronald Whisenand**

Community Development Director

**INFORMATION PERTAINING TO APPLICATION FOR BUILDING PERMIT,  
CITY OF PASO ROBLES**

*The following information should be filled out as completely as possible. Failure to do so may impede the permit process*

**PLEASE PRINT:**

OWNER (S): \_\_\_\_\_ PHONE: (\_\_\_\_) \_\_\_\_\_

OWNER (S) ADDRESS: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

TENANT (S): \_\_\_\_\_ PHONE: (\_\_\_\_) \_\_\_\_\_

TENANT (S) ADDRESS: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

AGENT FOR OWNER: \_\_\_\_\_ PHONE: (\_\_\_\_) \_\_\_\_\_

AGENTS' ADDRESS: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

PROJECT ADDRESS: # \_\_\_\_\_ STREET \_\_\_\_\_ LOT \_\_\_\_\_ TRACT \_\_\_\_\_

ARCH./DRAFTSMAN: \_\_\_\_\_ PHONE: (\_\_\_\_) \_\_\_\_\_

ARCH./DRAFTSMAN ADDRESS: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ PHONE: (\_\_\_\_) \_\_\_\_\_

ADDRESS: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

CONTRACTORS' LICENSE NUMBER: \_\_\_\_\_ LICENSE CLASS: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

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**PROJECT INFORMATION: SCOPE OF WORK:** \_\_\_\_\_

**VALUE OF PROJECT:** \$ \_\_\_\_\_

**PERMIT REQUESTED:** BUILDING \_\_\_\_\_ DEMOLITION \_\_\_\_\_ MECHANICAL/PLUMBING/ELECTRICAL \_\_\_\_\_

SWIMMING POOL/SPA \_\_\_\_\_ SIGN \_\_\_\_\_

**TOTAL SQUARE FEET OF BUILDING:** \_\_\_\_\_ **GARAGE:** \_\_\_\_\_ **PATIO/DECK:** \_\_\_\_\_

**SETBACKS:** FRONT: \_\_\_\_\_ FT. SIDES: \_\_\_\_\_ FT. REAR: \_\_\_\_\_ FT.

**NUMBER BEDROOMS:** \_\_\_\_\_ **NUMBER BATHROOMS:** \_\_\_\_\_ **NUMBER OF STORIES:** \_\_\_\_\_

**OCCUPANCY GROUP:** \_\_\_\_\_

**CONSTRUCTION TYPE:** \_\_\_\_\_ I A, II A \_\_\_\_\_ IIIA, VA \_\_\_\_\_ II B, III B, IV, V B

**APPLICATION #** \_\_\_\_\_

**PLEASE COMPLETE THE REVERSE SIDE**

**CONSTRUCTION MATERIALS:**

FRAME:            FOUNDATION:            ROOF:            HEATING:            EXTERIOR WALL:

- |                                  |                                       |                                      |                                    |   |
|----------------------------------|---------------------------------------|--------------------------------------|------------------------------------|---|
| <input type="checkbox"/> WOOD    | <input type="checkbox"/> WOOD         | <input type="checkbox"/> BUILT-UP    | <input type="checkbox"/> ELEC      | <input type="checkbox"/> WOOD SIDING    |
| <input type="checkbox"/> METAL   | <input type="checkbox"/> CONCRETE     | <input type="checkbox"/> METAL       | <input type="checkbox"/> GAS FURN. | <input type="checkbox"/> STUCCO         |
| <input type="checkbox"/> TIMBER  | <input type="checkbox"/> SLAB         | <input type="checkbox"/> COMP SHING. | <input type="checkbox"/> GAS WALL  | <input type="checkbox"/> MASONRY VENEER |
| <input type="checkbox"/> MASONRY | <input type="checkbox"/> PIERS.CAISS. | <input type="checkbox"/> TILE        | <input type="checkbox"/> SOLAR     | <input type="checkbox"/> CONCRETE BLOCK |
|                                  |                                       | <input type="checkbox"/> OTHER       |                                    | <input type="checkbox"/> METAL          |

**UTILITIES:**

TYPE WATER HEATING: \_\_\_\_\_ FIREPLACE TYPE: \_\_\_\_\_

HVAC: \_\_\_\_\_ TYPE:  GAS  LPG  ELEC.  OTHER: \_\_\_\_\_

SIZE: \_\_\_\_\_ BTU

SEWERAGE DISPOSAL:  CITY SEWER  PRIVATE

**RETAINING WALL INFORMATION:**

LENGTH: \_\_\_\_\_ HEIGHT: \_\_\_\_\_ MATERIAL: \_\_\_\_\_

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**INDUSTRIAL WASTE:**

Will your business have any wastewater discharge from any fixture or equipment other than a hand sink or bathroom fixtures? Yes or No

If Yes, what are they? \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_



# CITY OF EL PASO DE ROBLES

"The Pass of the Oaks"

## GRADING/SITE PLAN PERMIT APPLICATION

Date: \_\_\_\_\_ Permit No. (City Use) \_\_\_\_\_

Enclosed is a: \_\_\_\_\_ A. Plot Plan \_\_\_\_\_ B. Grading Plan \_\_\_\_\_ C. Grading Plan (Sub-Division)

AUTHORIZED REPRESENTATIVE: \_\_\_\_\_

PHONE: \_\_\_\_\_ CELL: \_\_\_\_\_ FAX: \_\_\_\_\_

PROPERTY OWNER (Mandatory): \_\_\_\_\_

PHONE: \_\_\_\_\_ CELL: \_\_\_\_\_ FAX: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PROJECT ADDRESS: \_\_\_\_\_

LOT (S): \_\_\_\_\_ BLOCK: \_\_\_\_\_ TRACT: \_\_\_\_\_ A.P.N. \_\_\_\_\_

CIVIL ENGINEER: \_\_\_\_\_ LICENSE NO.: \_\_\_\_\_

SOILS ENGINEER: \_\_\_\_\_ LICENSE NO.: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ LICENSE NO.: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

TOTAL AREA OF SITE DISTURBANCE: \_\_\_\_\_

EXCAVATION: DEPTH OF CUT: \_\_\_\_\_ (EST. CU. YARDS): \_\_\_\_\_

FILL: DEPTH OF FILL: \_\_\_\_\_ (EST. CU. YARDS): \_\_\_\_\_

If surplus material exists (unbalanced site), where will it be disposed of? \_\_\_\_\_

Is there any diversion of water to adjoining property? \_\_\_\_\_ Yes \_\_\_\_\_ No

If yes, please note nature and type: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Will a fence be required for public safety? \_\_\_\_\_ Yes \_\_\_\_\_ No

Any known archeological sites? \_\_\_\_\_ Yes \_\_\_\_\_ No

Give a brief description as to how work may relate to adjoining property; regarding drainage, erosion, spill, seepage, retaining walls, public health and safety. Is any grading proposed under the drip line of any oak trees? \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

When will work commence? \_\_\_\_\_ Estimated completion date \_\_\_\_\_

Will a Pre-job meeting be required? \_\_\_\_\_ Yes \_\_\_\_\_ No

**NOTE: All work shall comply with the Municipal Code**

**TABLE NO. 3-H-GRADING PERMIT FEES**

50 cubic yards or less	\$ 64.00
51 to 500 cubic yards	\$ 96.00
501 to 1,000 cubic yards	\$128.00
1,001 to 5,000 cubic yards	\$192.00
5,001 to 10,000 cubic yards	\$257.00
10,001 cubic yards or more	\$257.00 for the first 10,000 cubic yards, plus \$128.00 for each additional 5,000 cubic yards or fraction thereof

**Other Inspection Charges and Fees:**

1. Inspections outside of normal business hours \$257.00/hr<sup>1</sup> (minimum charge - 2 hours)
2. Re-inspection fees assessed under provisions of City of Paso Robles, City Council Resolution 05-192 - \$153.00/hr<sup>2</sup>
3. Inspections for which no fee is specifically indicated \$153.00/hr<sup>2</sup> (minimum charge - 1 hour)

<sup>1</sup> The application for a grading permit also authorizes additional work if required.

<sup>2</sup> Or the total hourly cost to the jurisdiction, whichever is greatest. This cost or fraction thereof includes supervision, overhead, equipment, hourly wages and fringe benefits of the employees involved.

**AFFIDAVIT**

I hereby agree to develop, implement and enforce a program to ensure controls are in place that will prevent or minimize water quality impacts from storm water runoff from the construction site subject to this permit.

I hereby agree to save, indemnify and hold harmless the City of El Paso de Robles and it's officers, employees and agents against all liability, judgments, costs and expenses which may in any way accrue against the City of El Paso de Robles in consideration of this application, and will in all things strictly comply with the conditions of this permit, regulations and ordinances of the City of El Paso de Robles and the laws of the State of California.

**SIGNED:** \_\_\_\_\_  
Applicant

**DATE:** \_\_\_\_\_

**APPROVED:** \_\_\_\_\_  
John R. Falkenstien, PE                      City Engineer

**DATE:** \_\_\_\_\_

----- **Area below for City use only** -----

**MAP SUBMITTED:**

\_\_\_\_\_ 50 cubic yards to 5,000 cubic yards requires a map showing existing and proposed elevations, drainage structures, trees or other topographic features.

\_\_\_\_\_ Over 5,000 cubic yards or within hillside development requires preparation by a licensed Civil Engineer, and a soils and/or geology report.

Soils Engineering Report:	_____ Required	_____ Not Required
Engineering Geology Report:	_____ Required	_____ Not Required
Environmental Impact Assessment:	_____ Required	_____ Not Required
Final Soils Report:	_____ Required	_____ Not Required
Final Compaction Test Required:	_____ Required	_____ Not Required

<b>FEES DUE:</b>	A.	Engineering Plan Check Fee	\$ _____ 153.00
	B.	Additional Plan Check required by corrections, changes, additions, or revisions (\$153/ per hour)	\$ _____
	C.	Grading Permit Fee	\$ _____



# Post Construction Storm Water Management

## Project Information

(This form is to be completed by the Civil Engineer and submitted with the City's grading permit application.)

Applicant Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Applicant Address: \_\_\_\_\_

Responsible Party for Post Construction Devices: \_\_\_\_\_

Project Contact: \_\_\_\_\_ Phone: \_\_\_\_\_

Project Address: \_\_\_\_\_

Grading Permit No.: \_\_\_\_\_ Parcel Number(s): \_\_\_\_\_

Disturbed Area (Acres): \_\_\_\_\_ Total Project Size: \_\_\_\_\_

Proposed Impervious Area: \_\_\_\_\_ Receiving Water: \_\_\_\_\_

- Residential (Single-Family)
- Residential (Multi-Family)
- Commercial
- Automotive
- Retail Gasoline Outlet

- Restaurant
- Hillside Development
- Parking Lot
- Streets/Roads
- Industrial

## Planned BMP's/Controls (Check Applicable Controls)

- |   |   |
|---|---|
| <input type="checkbox"/> Disconnect Impervious Surfaces | <input type="checkbox"/> Filters and Drainage Inlet Inserts |
| <input type="checkbox"/> Pervious Paving                | <input type="checkbox"/> Constructed Wetland                |
| <input type="checkbox"/> Infiltration Trench            | <input type="checkbox"/> Oil and Water Separator            |
| <input type="checkbox"/> Retention Basin                | <input type="checkbox"/> Media Filter                       |
| <input type="checkbox"/> Vegetated Swale                | <input type="checkbox"/> Other (Describe below)             |

## Hydromodification (If Applicable)

Please describe hydromodification techniques: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Quantify hydromodification effectiveness (Attach calculations if provided):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
Civil Engineer

\_\_\_\_\_  
PE#

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date



## CITY OF EL PASO DE ROBLES

*"The Pass of the Oaks"*

### Time Frame for Engineering Completion of the Plan Review Process

City of Paso Robles Engineering Division Phone (805) 237-3860 Fax (805) 237-6565

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#### ATTENTION CONTRACTORS, DEVELOPERS, AND CONSULTANTS:

Effective January 21, 2002, quoted time frames for completion of the plan review process for Housing Tracts, Public Improvements, and Commercial/Industrial projects (excluding that time consumed by the contractor or developer for correction and/or amendment) shall be as follows:

#### Initial plan review\* (first plan check):

*Forty-five (45)* working days (this excludes weekends and holidays) will be required to complete the initial plan review process.

#### Second plan review\* (plan recheck):

*Forty-five (45)* working days (this excludes weekends and holidays) will be required to complete the second, and subsequent, plan review (recheck).

#### Plan review for small permits:

*Thirty (30)* working days for initial plan review for all Single Lot Grading. Allow *twenty (20)* days to complete the second plan review (recheck).

\*Please note that the time frames quoted above **do not** include that time period when plans are in the possession of the contractor, developer, or consultant for correction and/or amendment.

All submittals subject to the Subdivision Map Act will be processed in accordance with time frames stated within the Act.



# CITY OF EL PASO DE ROBLES

1000 Spring Street  
Paso Robles, CA 93446

## Notice to Property Owner

### *Dear Property Owner:*

An application for a building permit has been submitted in your name listing yourself as the builder of the property improvements specified at \_\_\_\_\_

We are providing you with an Owner-Builder Acknowledgment and Information Verification Form to make you aware of your responsibilities and possible risk you may incur by having this permit issued in your name as the Owner-Builder.

We will not issue a building permit until you have read, initialed your understanding of each provision, signed, and returned this form to us at our official address indicated. An agent of the owner cannot execute this notice unless you, the property owner, obtain the prior approval of the permitting authority.

### **OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION**

**DIRECTIONS:** Read and initial each statement below to signify you understand or verify this information.

\_\_\_\_1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "'Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

\_\_\_\_2. I understand building permits are not required to be signed by property owners unless they are responsible for the construction and are not hiring a licensed Contractor to assume this responsibility.

\_\_\_\_3. I understand as an "'Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

\_\_\_\_4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

\_\_\_\_5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "'employer" under state and federal law.

\_\_\_\_6. I understand if I am considered an "'employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "'employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

\_\_\_\_7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless all work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.





# CITY OF EL PASO DE ROBLES

*"The Pass of the Oaks"*

## CONSENT OF LANDOWNER FORM

Consent for Building Permit Type: \_\_\_\_\_

Project Address: \_\_\_\_\_

Property Owner: \_\_\_\_\_ Day Phone: \_\_\_\_\_

Mailing address: \_\_\_\_\_

City: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Person authorized to act as Agent/Applicant: \_\_\_\_\_

Applicant/Agent Day Phone: \_\_\_\_\_

Mailing address: \_\_\_\_\_

City: \_\_\_\_\_ Zip Code: \_\_\_\_\_

I/We, the undersigned owner(s) of record of the fee interest in the above noted land for which an application for a building permit is being requested, do certify that:

- I. Such application may be filed and processed with my/our full consent. The applicant is authorized to act as my agent in all contacts with the City in connection with this matter. I/We hereby grant the City of Paso Robles or any of its authorized agents the right to enter upon the land described herein at any time during normal business hours for the purposes of site inspection

I certify under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

\_\_\_\_\_  
Property owner signature Date

BUILDING DIVISION APPLICATION NUMBER: \_\_\_\_\_



# Construction Permit Application Concurrent Processing Request Form

City of Paso Robles Community Development Department

## CONCURRENT PROCESSING REQUESTED\*\*

\*\* Concurrent Processing is defined as a project reviewed by applicable Departments/Divisions of the City of Paso Robles *concurrently*.

· Project No. \_\_\_\_\_ · Use Permit No. \_\_\_\_\_ · Parcel Map No. \_\_\_\_\_  
· Building Permit No. \_\_\_\_\_

Description of project or work to be done:

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I, \_\_\_\_\_ as owner of the property located at: \_\_\_\_\_ within the City of Paso Robles hereby request that my project be processed concurrently by all applicable Departments/Divisions of the City of Paso Robles. I understand that should the project be determined by any Department or Division of the City to require re-design or substantial change, that review of said changes may result in additional processing time and/or additional fees being charged.

I hereby understand and agree to the above:

Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_, 20\_\_

### FOR OFFICE USE ONLY!

O.K. To process concurrently?      Planning Division:      · Yes    · No    By: \_\_\_\_\_

Building Division:      · Yes    · No    By: \_\_\_\_\_

Other:      · Yes    · No    By: \_\_\_\_\_

Date: \_\_\_\_ / \_\_\_\_ / 20\_\_    Comments: \_\_\_\_\_

# **NOTICE**

**STOCKPILING OF MATERIALS IN THE CITY  
RIGHT-OF-WAY IS A VIOLATION OF  
MUNICIPAL CODE SECTION 20.12.050**

**STOCKPILES OF SOILS, SANDS, ROCKS, GRAVELS, BARK,  
WOOD, MASONRY, OR ANY TYPE OF CONSTRUCTION  
MATERIALS SHALL BE PLACED AND CONTAINED ON  
PERMITTED CONSTRUCTION SITES ONLY**