

RESOLUTION NO.: 09-006

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
APPROVING PLANNED DEVELOPMENT 08-002
(DESTINO PASO - HANDLEY)
APN: 025-436-029 & 030

WHEREAS, Planned Development 08-002 has been filed by North Coast Engineering on behalf of Jerry and Katherine Handley for the construction of a resort project consisting of two 50-room hotels, one 16-room “Boutique Hotel” and 175 casitas units totaling 291 rooms, also including accessory uses such as restaurant, spa, conference center, trails, pools, parking lots and other accessory uses; and

WHEREAS, the project is located at 3340 & 3350 Airport Road; and

WHEREAS, the approximate 40-acre site has a General Plan Land Use designation of Parks and Open Space with Resort Lodging Overlay (POS-R/L); and

WHEREAS, the Zoning designation is also Parks and Open Space with Resort Lodging Overlay (POS-R/L); and

WHEREAS, the site is located within the Airport Overlay area as indicated on the General Plan Land Use map, and portions of the site are located within Airport Safety Zones 2, 3 & 4; and

WHEREAS, Section 21.18B, Resort Lodging Overlay District, a resort/hotel with ancillary land uses may be approved by the Planning Commission through the development plan (PD) process; and

WHEREAS, according to Table 21.16.200, Permitted Use Table, transient lodging, including hotels and motels are permitted in the POS zoning district with the approval of a Conditional Use Permit (CUP) by the Planning Commission; and

WHEREAS, the applicants have submitted an application for CUP 08-002; and

WHEREAS, an Initial Study was prepared for this project in accordance with the California Environmental Quality Act (CEQA) and a Mitigated Negative Declaration was approved by the Planning Commission on February 10, 2009 by separate resolution, and

WHEREAS, at its February 10, 2009 meeting, the Planning Commission held a duly noticed public hearing on the Project, to accept public testimony on the proposal including Planned Development 08-002 and related applications; and

WHEREAS, based upon the facts and analysis presented in the staff report and the attachments thereto, the public testimony received, and subject to the Conditions of Approval listed below, the Planning Commission makes the following findings:

1. The proposed Project will not be detrimental to the City's efforts to revitalize Downtown Paso Robles since this Project will provide an end-destination resort project that would provide lodging for people that would utilize downtown business;
2. The proposed Planned Development is consistent with the purpose, intent and regulations set forth in Chapter 21.16A (Planned Development Overlay District Regulations) as follows:
 - A. The granting of the Planned Development (PD) will not adversely affect the policies, spirit and intent of the General Plan, applicable specific plans, the zoning code, and other adopted codes, policies and plans of the City. Rather, based on resort lodging projects being permitted in the POS zone, encouraged in the POS land use designation, and the intent of the Resort Lodging Overlay district, the project supports City policies.
 - B. The Project maintains and enhances the significant natural resources on the site. As indicated in environmental review of the project and with the required environmental mitigation measures for the project, the development of this project will not significantly impact the natural resources on this site.
 - C. The Project is designed to be sensitive to, and blend in with, the character of the site and surrounding area. The architectural plans have been reviewed by the Development Review Committee (DRC) and ultimately the Planning Commission, where it has been determined that the proposed project as designed (and conditioned) will be compatible with the character of the site and surrounding area.
 - D. The Project is consistent with the purpose and intent of the Planned Development Chapter of the Zoning Ordinance, and the Project is not contrary to the public health, safety and welfare.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby approve Planned Development 08-002, subject to the following conditions:

PLANNING CONDITIONS:

1. This Development Plan for PD 08-002, allows for the approval of the Master Plan allowing development and operation of a resort facility containing a total of 116 hotel rooms and 175 casitas rooms (total 291 units), a restaurant, spa facility and other ancillary uses. The project will be phased as follows:

- | | |
|-------------------|---|
| <u>Phase I:</u> | 19 casitas units;
1,000 sf office & housekeeping;
4,000 sf conference area;
5,000 sf recreation area (pool & pool house) |
| <u>Phase II:</u> | 86 casitas units |
| <u>Phase III:</u> | 3,000 sf spa building |
| <u>Phase IV:</u> | 5,700 sf restaurant |
| <u>Phase V:</u> | 50 room Hotel |

- Phase VI: 16 room boutique hotel
- Phase VII: 46 casitas units
- Phase VIII: 50 room hotel
- Phase VIII: 24 casitas units

Note: request to change any of the above noted phasing will require the approval of the Development Review Committee (DRC).

2. The project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

EXHIBIT DESCRIPTION

- A Destino Paso Design Guidelines
- B Application Guide for Major Development

3. This project approval shall expire on February 10, 2011 unless a time extension request is filed with the Community Development Department prior to expiration.
4. Prior to issuance of a Building Permit for each individual phase, the applicant shall apply for a Major Site Plan Review where the following information will need to be provided for review and approval by the Development Review Committee. The Site Plan submittal shall include but not be limited to the following items:
 - a. Site Plan (see application guide for requirements for a site plan)
 - b. Architectural elevations
 - c. Landscaping and Irrigation Plan
 - d. Grading and Drainage Plan
 - e. Color and Materials Board
 - f. Fencing Plans
 - g. Exterior Light Cut-Sheets
5. All trash enclosures shall be constructed of decorative masonry block compatible with the main buildings. Gates shall be view obscuring and constructed of durable materials such as painted metal or chain link with plastic slatting. All trash enclosures will also need to be designed to provide for recycling containers.
6. All existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be screened from public view through the use of decorative walls and/or landscaping subject to approval by the Community Development Director or his designee. Details shall be included in the building plans.
7. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the DRC. Details shall be included in the building plans.

8. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and shall be subject to approval by the Community Development Director or his designee.
9. All existing and/or new landscaping shall be installed with automatic irrigation systems.
10. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
11. In the future, when a City bus route is established on Airport Road a City Standard bus stop shelter shall be installed at the cost of the developer/property owner. The exact placement of the bus stop shall be approved by the City prior to installation.
12. Prior to the issuance of a grading permit, the applicant/developer shall apply for both a Construction Stormwater General Permit and Section 401 Water Quality Certification, as necessary.

Engineering Site Specific Conditions

13. Hydro-modification mitigation shall be provided in accordance with the City's storm water management ordinance at the time of development. Low Impact Development Best Management Practices shall be incorporated into the project grading plans in accordance with City standards at the time of permitting.
14. The project will be subject to traffic impact and other development impact fees in effect at the time of occupancy of the project. Traffic mitigation will include the deposit of \$1,600,000 towards construction of a bridge over the Huer Huero proportionally applied to the incremental development of the project. When transportation impact fees are updated by council action, the final fee obligation shall be equal to that defined by the new fee structure.
15. Prior to occupancy of Phase I, Airport Road shall be constructed in general conformance to the preliminary plans. Further improvements which include extending the road to the southerly boundary and providing a cross walk across the road to the Ravine Water Park should be reviewed for feasibility and if feasible, shall be constructed in accordance with plans approved by the City Engineer with the second phase of the project. (Airport Road improvements are currently included in the AB 1600 transportation needs list and are therefore subject to reimbursement from that fund).
16. Prior to occupancy of Phase I, sanitary sewer shall be provided to the project in accordance with plans approved by the City Engineer. Subject to council action and agreements on file with the City, the developer shall be entitled to reimbursements for the design and construction of the public sewer line. The City will provide or acquire all property and easements necessary for construction of the sewer line.

17. Prior to occupancy of Phase I improvements all overhead utility lines on Airport Road shall be relocated underground.

Emergency Services Conditions

18. Prior to the start of construction, documentation shall be submitted to Emergency Services showing that required fire flows can be provided to meet all project demands.

19. Provide fire hydrants at not greater than five hundred (500) foot intervals.

20. Provide central station monitored fire sprinkler system for all buildings greater than five thousand (5,000) square feet.

21. Provide fire department connection to the fire sprinkler system on the address side of the building for all buildings with fire sprinklers.

22. Provide Knox Box fire department rapid entry device on address side of the building of all buildings that will be accessed by the public and/or that have fire sprinkler systems.

PASSED AND ADOPTED THIS 10th day of February, 2009 by the following Roll Call Vote:

AYES: Nemeth, Gregory, Garcia, Peterson, Johnson

NOES: None

ABSENT: Treach

ABSTAIN: Holstine



JOEL PETERSON, CHAIRMAN PRO-TEM

ATTEST:



RON WHISENAND, PLANNING COMMISSION SECRETARY



DESTINO PASO



Exhibit A
Design Guidelines
PD 08-002, CUP 08-002, Tract 2962
(Destino Paso - Handley)

Destino Paso Preliminary Design Plans & Guidelines

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DESTINO PASO

A DESTINATION RESORT FOR PASO ROBLES

June 13, 2008

Introduction

Destino Paso is envisioned to be a destination resort to provide recreational opportunities, dining facilities, conference facilities, wellness opportunities, extensive open space, and a range of accommodation opportunities to serve the growing tourist market for the City of El Paso de Robles. The City of Paso Robles has made destination tourism one of its primary goals, and this proposed resort provides amenities and attractions to complement the range of services and attractions that have been envisioned in the City's Economic Strategy and confirmed in the San Luis Obispo County Economic Forecast.

Project Description

Destino Paso will provide a wide range of accommodations ranging from small intimate casitas, boutique hotel rooms, and traditional hotel rooms. All the accommodations are intended to be for transient occupancy with a maximum stay of 30 days. The accommodations proposed for the project falls into three categories.

Accommodations

- Casitas
Two main areas of clustered casitas are proposed, each with a recreation center with a swimming pool and spa. Additional casitas are located to complement the Conference Center/Poolside Pavilion. The casitas are comprised of a combination of single-story duplex units and two-story fourplex units. All the casitas have patios and/or decks and are arranged in clusters to provide a community feel yet provide individual private spaces for the guests. Many of the casitas provide tremendous views of the surrounding vineyards and on-site open space, and provide ready access to the on-site recreational facilities, as well as on-site trails and open space.
- Boutique Hotel
A boutique hotel consisting of 16 rooms is proposed to be located at the southwestern portion of the property overlooking the existing lake. It is envisioned that this site could provide superior, private accommodations for small groups, weddings, family reunions, and corporate retreats. The boutique hotel will have a large lawn and gathering area, as well as a large patio to provide a serene environment for private weddings and small functions. Ample parking, as well as overflow parking, is accommodated on the site.

- Hotel

Two hotels of 50 rooms each are proposed to be constructed next to the proposed restaurant on the northwest corner of the property. The two hotels would be two-stories and would be of a conventional hotel format with internal courtyards, pools, on-site retail facilities, and recreational facilities.

Resort Amenities

- Spa
A full featured spa is proposed in the upper area of the resort. With magnificent views of the oak woodland and surrounding vineyards the spa will be the center of wellness and relaxation. Located on its own parcel, it is intended that the spa will be operated by a specialized operator. Services envisioned are massage, aromatherapy, skin care, facial and body therapies, and hair and scalp treatments.
- Restaurant
Destino Paso proposes a 5,700 sq. ft. restaurant located at the entrance of the project at the northwest corner of the property. This restaurant is designed to be a sit-down restaurant, which will accommodate diners not only from within the project, but would anticipate a number of visitors from the area participating in the dining experience. The restaurant will have views overlooking the Huer Huero Creek, would be in close proximity to the two proposed hotels, and would be readily accessible from all of the other accommodations proposed for the site.
- Recreation Center
A recreation center with a pool, spa, office, kitchen, restrooms, pavilion, and shaded veranda area is proposed for the first phase of the project. It is intended to provide recreation and wellness amenities for the visitors to the resort.
- Poolside Event Pavilion
The existing warehouse on the project is intended to be completely remodeled and converted to a conference and event center. Because of the size and nature of the building, considerable flexibility is attainable for use for conferences, training sessions, small parties and weddings. The proximity to the recreation center provides opportunities for additional flexibility.

Design Approach

- Low Impact Development
Numerous techniques for Low Impact Development (LID) are proposed for the project. In particular, there are many areas proposed for biofiltration to capture and clean storm and irrigation

water before percolating into the ground or releasing from the site. Stormwater in many cases is routed through a series of biofiltration systems to further enhance cleansing abilities. A large area located near Airport Road, designated as a passive recreational area serves as a significant biofiltration area as well as a sediment trap to capture and treat stormwater pollutants on site. Additional biofiltration areas are proposed for the medians of Airport Road to capture and treat stormwater flowing off the paved surface of the road. Hard surfaces are minimized to reduce runoff and permeable paving is anticipated in appropriate areas.

Design measures have been incorporated into the buildings to provide solar efficiency for both heating and cooling.

- **Open Space/Trail System**

The project contains extensive areas of open space. Over half of the site or approximately 22 acres is to remain open space. This area includes oak woodlands with existing trails which would be improved. A blue-line stream feeds an existing lake. The open space provides serene recreational areas as well as acting as a buffer for the onsite buildings as well as the surrounding uses.

- **Circulation Improvements and Approach**

The project proposes improvements to Airport Road, widening, adding bike lanes, sidewalks and walking paths. The design proposed has been done in consultation with the City Engineer and reflects the current thinking on pavement reduction and rural style road design. A median is proposed in the middle of the roadway and is intended to be used as a biofiltration area to help cleanse the runoff from the asphalt and concrete surfaces. Both right turn and left turn pockets, as well as acceleration lanes are proposed for safe access to and from the resort. The walking path on the west side of Airport Road provides access to the Ravine Water Park.

A city standard road (Beijo Way) is proposed through the resort to connect to the property to the east. A 60' wide Offer of Dedication to the City is proposed. All other roads and drives on the site are private and will be maintained by the owner.

A city standard transit stop with a shelter is proposed on Airport Road to provide access to and from the resort for both public transport, as well as other forms of private transit such as wine tours. On site transport will be provided by golf carts. These carts will be driven by resort staff and will provide convenient transportation within the site for those who choose not to walk or are in need of assistance.

It is intended to work with the Ravine Water Park, local wineries, downtown businesses, shopping centers, golf courses, and other local attractions to provide a shuttle service to connect these uses and reduce motor vehicle traffic.

- **Project Utilities**

The project site has access to City water through an existing 12" water line in Airport Road and a 12" waterline recently constructed in Beijo Way. Water is intended to be looped in the main sections of the project and it is intended that these water mains on site be built to city standards and be in a public water easement.

Wastewater is proposed to be handled by an onsite septic system in the first two phases, consistent with other projects in the immediate area. The septic system will be abandoned and removed as soon as public sewer is available in Airport Road. Phase three of the project will not be constructed until the public sewer is available. It is anticipated that this project will contribute its fair share to the construction costs of this regional improvement.

Existing Property Description

The proposed site of Destino Paso is located on Airport Road immediately north of the Wine Country R.V. Park. It is comprised of 40.3 acres and consists of several large, flat mesa areas and a significant large oak filled ravine, a lake, an existing home and outbuildings. The property is partially bounded on the west by Airport Road and access to the project is proposed by a new public street called "Beijo Way", which would connect at Airport Road and proceed easterly and connect to an existing property owned by William and Kenneth Munde. There are numerous oak trees on site, all of which are proposed to be protected and preserved with the exception of the trees necessary for the widening of Airport Road to meet City standards.

The current General Plan designation for the property is Parks and Open Space, and the current zoning of the property is Parks and Open Space with a Resort and Airport Overlay. The proposed uses are consistent with those zones.

The property is well situated for a destination resort being in very close proximity to the following tourist serving facilities:

- The Ravine Water Park
- Firestone Winery
- Eberle Winery
- Hunter Ranch Golf Course

- Barney Schwartz Park
- Robert Hall Winery
- Vina Robles Winery
- Airport Business Park
- Vacuero Resort

The project is also located a short distance from Highway 46 on Airport Road which is designated as an arterial road. It provides easy access from Highway 46, as well as the Paso Robles Airport.

Design Approach

The design of Destino Paso was a collaborative effort of North Coast Engineering, firma Landscape Architecture, and Steven Puglisi Architects. A design charrette was held with the project team utilizing topographic mapping, oak tree mapping, and design information to collaboratively produce an initial site plan. The goals of the initial design process were:

- Develop a resort community sensitive to the existing land form.
- Provide a mixture of accommodations, recreational opportunities, culinary opportunities, and conference opportunities.
- Conform to the Airport Land Use Safety Zone restrictions.
- Provide for circulation improvements.
- Incorporate low impact development techniques such as biofiltration and minimization of impermeable surfaces.
- Develop a resort with a comfortable community feel.
- Provide for internal pedestrian and bicycle circulation.
- Provide for internal and external transportation opportunities, providing access not only within the site but connecting to existing tourist destinations.
- Structure the phasing of the project such that impacts could be mitigated as the project develops.

Airport Land Use Compatibility

The proposed Destino Paso is located within the Airport Influence Area, specifically in Safety Zones 2, 3, and 4. No buildings are proposed within Safety Zone 2. In Safety Zones 3 and 4, buildings have been clustered in compliance with the policies of the Airport Land Use Plan.

Resort Operator

It is the intent of the owners, and the advice of the various consultants to the project, to keep the entirety of the property under the control of one developer-resort operator. The "parceling" of the site is expressly

for the purpose of facilitating the development and financing of the property in phases and in accordance with the restrictions in place on the various airport safety zones located within the site.

The approval to record an air-space condominium map, allowing for separate ownership of each Casita, is intended to facilitate the financing of the project not to promote full or part-time occupancy by the unit owners. Each Casita would be sold to an investor, most likely one motivated by a 1031 tax deferred exchange, who would be restricted from more than 30 days per year of personal usage of his unit. Each sold unit would be subject to a mandatory placement of the unit into a rental pool controlled by the resort operator. Owners of the Casitas are entitled to their pro-rata share of the net operating income generated from the pool of Casitas/guest room units. The marketing of the Casitas as pooled revenue/mandatory rental pool participation is done in strict compliance with securities and real estate law that governs such transactions.

Market Demand

Among those contracted to assist in the development of this resort are two of the most highly regarded Consulting firms in the resort industry. Redwood Capital Advisors and PKF Consulting, it is clear from the analysis that there is clearly the support, environment and demand for a resort as proposed. It in effect bridges a gap between existing lower quality motels and the small, but very high end bed and breakfast accommodations currently offered in the area.

Community Financial Benefits

The construction of the resort will greatly increase the assessed value of the property. It is estimated that the construction cost of the resort is approximately \$45,000,000. The resulting increase in property tax will benefit the community.

The most significant benefit to the City's General Fund will be in the form of Transient Occupancy Taxes collected from the resort.

- Estimated average room rents will be \$225 per night with 4% to 7% increase per year.
- At 60% occupancy the resort will generate approximately \$1,400,000 a year in additional revenue to the City.
- It is also estimated that millions of dollars will be spent each year by tourists in the local area.

**DESTINO PASO
OWNERSHIP AND MANAGEMENT STRUCTURE**

The 40-acre property that will be Destino Paso is currently owned by Jerry and Kathie Handley. The Destino Paso Resort is designed to satisfy the goals and requirements of the City of Paso Robles General Plan and Land Use Ordinance as well as the Airport Land Use Plan. The development of this project will be consistent with the Planned Development currently under review. A Parcel Map, Condominium Map and Conditions, Covenants and Restrictions (CC&R's) will be recorded to guarantee that the development occurs in the way it was originally intended.

The Handleys are looking to joint venture with a large developer/investor to construct the project. Together, the Handleys and the large developer/investor will make up the Master Developer (MD). The Master Developer entity will maintain control over the development of the entire resort. The MD will own all of the parcels created by the parcel map and will develop the project as the market permits.

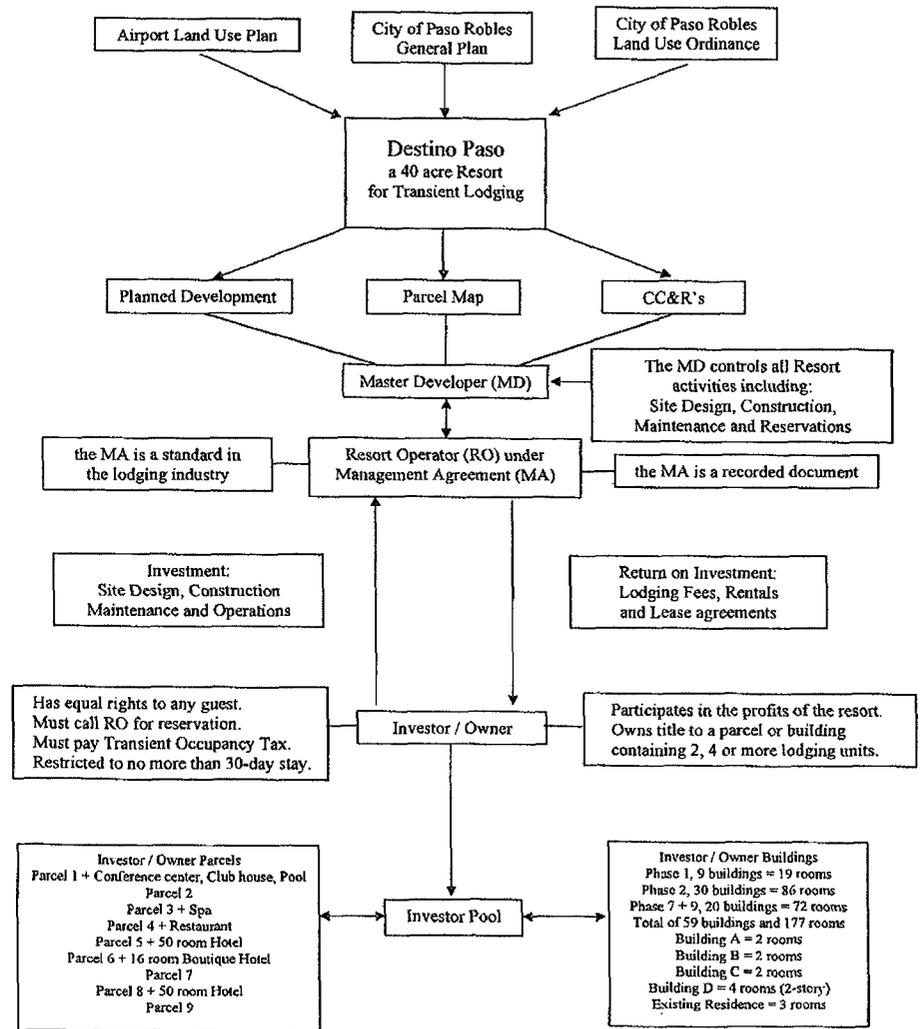
The Master Developer will select and enter into a contractual agreement with a Resort Operator (RO). The Management Agreement will outline the duties and restrictions of the RO. Duties will include resort operations and maintenance and management of the investor pool. The Management Agreement is a recorded document that binds the Master Developer to the Resort Operator.

To sustain the development of the resort, additional interested investors may purchase title ownership of a parcel or a visitor lodging building. The management and ownership flow chart to the right lists the different ownership opportunities to the right and left of the "Investor Pool" box. The investor pool will fund the development of the resort. This would include, but is not limited to: site design, construction, maintenance and operations. In exchange for their investments, the investors will receive profits in proportion to their investment. Returns are generated through lodging fees, rentals and lease agreements.

When an interested party chooses to invest in the resort, they are required to enter into a Unit-Owners Association Master Lease Agreement. The agreement is a recorded document that outlines an investor's occupancy rights. An investor does not have any greater rights to occupancy than a non-investor. They do not have keys to the visitor lodging unit that they invested in and are not guaranteed a reservation in their unit. An investor has no right to return, rearrange or alter in any way any part of their unit.

To make arrangements to stay at the resort, the investor would call the Resort Operator to request a reservation in the same way that a non-investor would. If their requested unit is available, then they are able to stay there. If not, they may choose to stay in another available unit or select a different time to stay. Lodging for any guest (investor or non-investor) is limited to no more than 30 consecutive days. During their stay, investor guests are required to pay all applicable transient occupancy taxes and any other government imposed assessments, housekeeping charges and any incidental charges.

An investor maintains possession of their real property title until they choose to sell. Until that time, they receive the returns on their investment.



DEVELOPMENT PLAN
FOR
DESTINO PASO

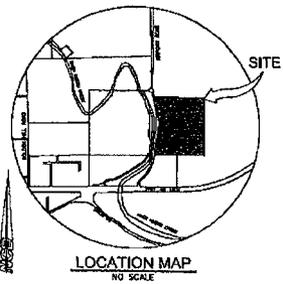
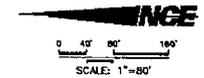
SITE STATISTICS - OVERVIEW

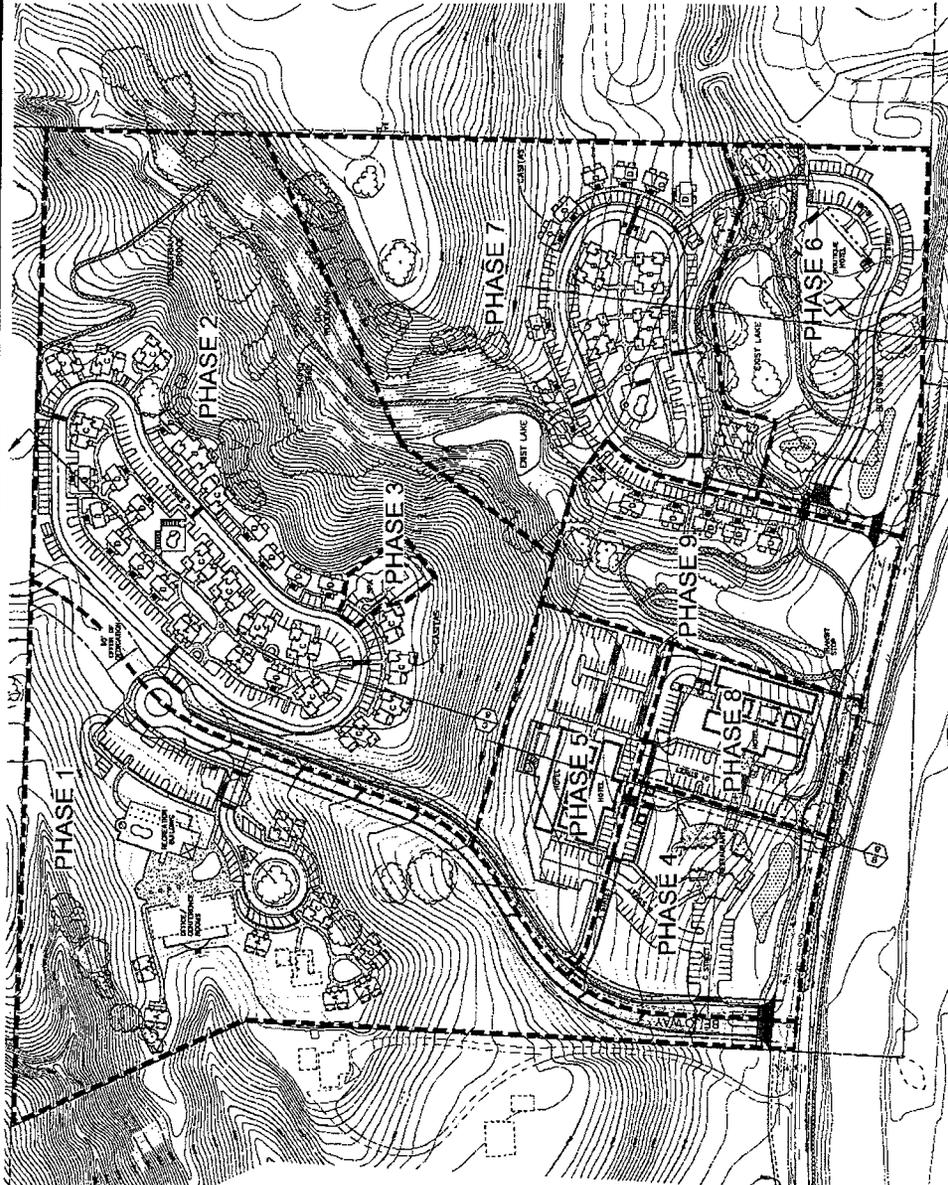
TOTAL GROSS AREA	40.3 ACRES
NET AREA	28.0 ACRES
OPEN SPACE	22 ACRES
RECORD OWNER:	JERRY AND KATHERINE HANDLEY P.O. BOX 1011 PASO ROBLES, CA 93445
APPLICANT:	JERRY AND KATHERINE HANDLEY P.O. BOX 1011 PASO ROBLES, CA 93445
ENGINEER:	NORTH COAST ENGINEERING, INC. 725 CRESTON RD., STE. B PASO ROBLES, CA 93445 CHRISTY GABLER P.L.E. 61821 EXP. 6/30/08
A.P.N.	025-438-029 & 030
EXISTING USE	VACANT/AG
EXISTING GENERAL PLAN DESIGNATION	POB
EXISTING ZONING	POB
PROPOSED USE	RESORT



SHEET INDEX

1. COVER SHEET
2. VESTING TENTATIVE MAP
3. SITE AND PHASING PLAN
4. PRELIMINARY GRADING & DRAINAGE PLAN - WEST
5. PRELIMINARY GRADING & DRAINAGE PLAN - EAST
6. PRELIMINARY UNDERGROUND PLAN - WEST
7. PRELIMINARY UNDERGROUND PLAN - EAST
8. SITE CROSS SECTIONS





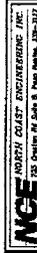
PHASING CONCEPT

PHASE	DESCRIPTION	APPROX. # OF UNITS	TOTAL AREA
PHASE 1	PHASE 1 CONCEPT	100	100,000 SF
PHASE 2	PHASE 2 CONCEPT	100	100,000 SF
PHASE 3	PHASE 3 CONCEPT	100	100,000 SF
PHASE 4	PHASE 4 CONCEPT	100	100,000 SF
PHASE 5	PHASE 5 CONCEPT	100	100,000 SF
PHASE 6	PHASE 6 CONCEPT	100	100,000 SF
PHASE 7	PHASE 7 CONCEPT	100	100,000 SF
PHASE 8	PHASE 8 CONCEPT	100	100,000 SF
PHASE 9	PHASE 9 CONCEPT	100	100,000 SF
TOTAL		900	900,000 SF

PROJECT STATISTICS SUMMARY

HOTEL ROOMS	100
CONDO UNITS	175
TOTAL	275
NET DEVELOPABLE AREA	2,000,000 SF
CONCRETE PAVING AREA	2,000,000 SF
PAVEMENT AREA	2,000,000 SF
SEC AREA (IMP. POOL)	10,000 SF
VARIOUS SITE HARDWARE	10,000 SF
TOTAL	10,000 SF

DESTININO PAZO SITE AND PHASING PLAN TRACT 2962



DATE SUBMITTED: JUNE 15, 2009

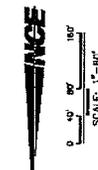
SHEET 018

BUILDING TYPES
 A (1) 324 of units, single story
 B (1) 324 of units, 1.5 story
 C (1) 324 of units, 1.5 story
 D (1) 324 of units, 1.5 story

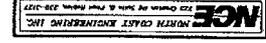


LEGEND

(A)	EXISTING AND PROPOSED	ROAD	CONCRETE DRIVEWAY
(B)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(C)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(D)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(E)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(F)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(G)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(H)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(I)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(J)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(K)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(L)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(M)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(N)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(O)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(P)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(Q)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(R)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(S)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(T)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(U)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(V)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(W)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(X)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(Y)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
(Z)	EXISTING AND PROPOSED	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY

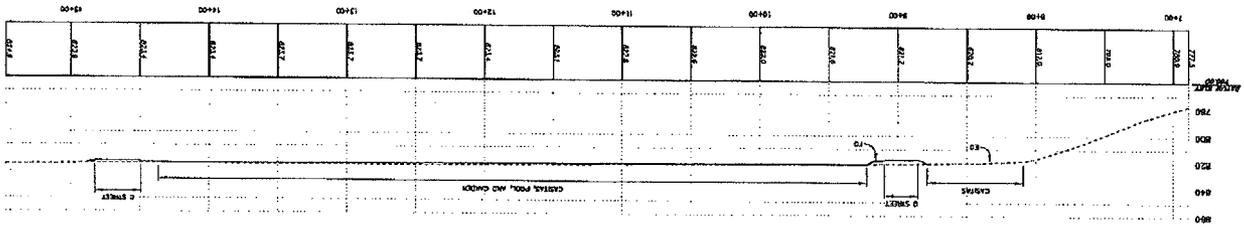


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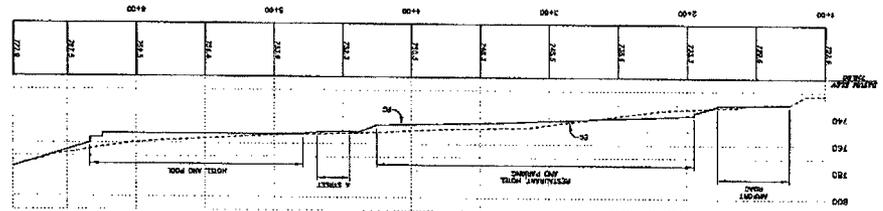


DESTINO P130
SITE CROSS SECTIONS
TRACT 2962

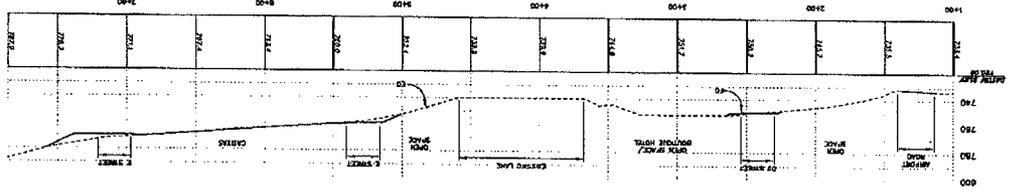
CROSS SECTION 3
VERTICAL 1" = 40'
HORIZONTAL 1" = 10'



CROSS SECTION 2
VERTICAL 1" = 40'
HORIZONTAL 1" = 50'



CROSS SECTION 1
VERTICAL 1" = 40'
HORIZONTAL 1" = 50'



PROPERTY CONSTRAINTS

The Destino Paso project was developed in a way to satisfy a number of constraints:

- Topography and Grading
- Native Tree Preservation
- Utility Easements
- Airport Road Improvements
- Preservation of Biologically Sensitive Areas
- Airport Safety Zone Criteria

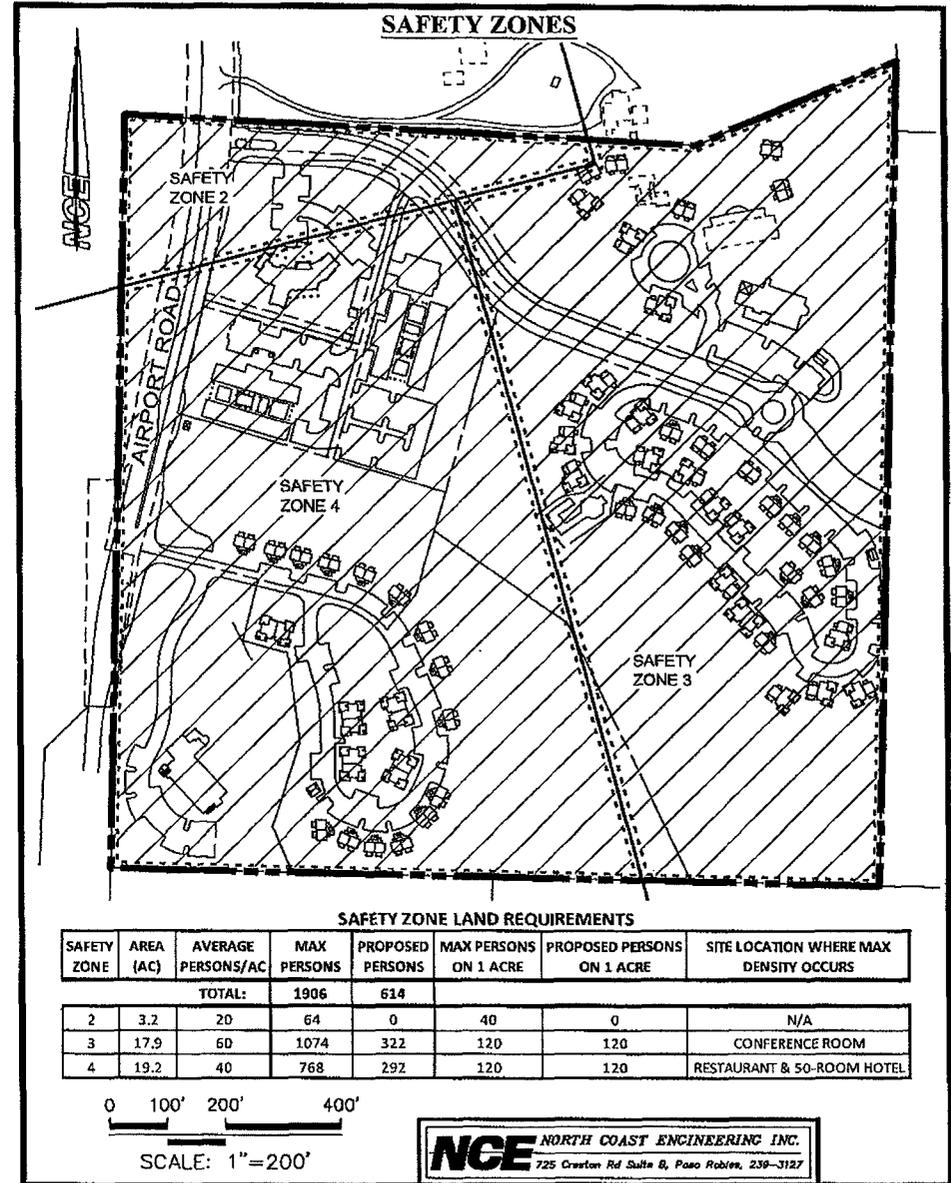
All of the above constraints were mapped for use in a design charrette. The project architect, landscape architect, civil engineer and developer's representative used these boundaries to identify building areas.

The Airport Safety Zones restrict land uses and population per acre. The exhibit (at right) titled "Safety Zones" graphically presents the zones relative to the project and parcel boundaries. Zone 2 prohibits any development. Zones 3 and 4 allow for non-residential transient lodging, up to 120 maximum persons per acre. The maximum population allowed for this 40 acres is 1,906 persons. The project has been clustered to areas suitable for the development, leaving over half of the property undeveloped. The maximum population for the project is estimate at 614.

PROJECT PHASING

The "Construction Phasing Plan" and "Grading Sequencing" exhibits on the following on page demonstrate the proposed plan for constructing the project. The grading sequences are presented for the purposes of segmenting the payment of San Joaquin Kit Fox mitigation fees to coincide with the timing of the impact. It will be the developer's option to grade or construct more than one phase at a time. Mitigation fees will be paid to coincide with the area of disturbance prior to the issuance of a grading permit.

The "Construction Phasing Plan" indicates the intended order to the construction of the resort. All associated infrastructure will be constructed with each phase per the project conditions of approval.



GRADING SEQUENCING



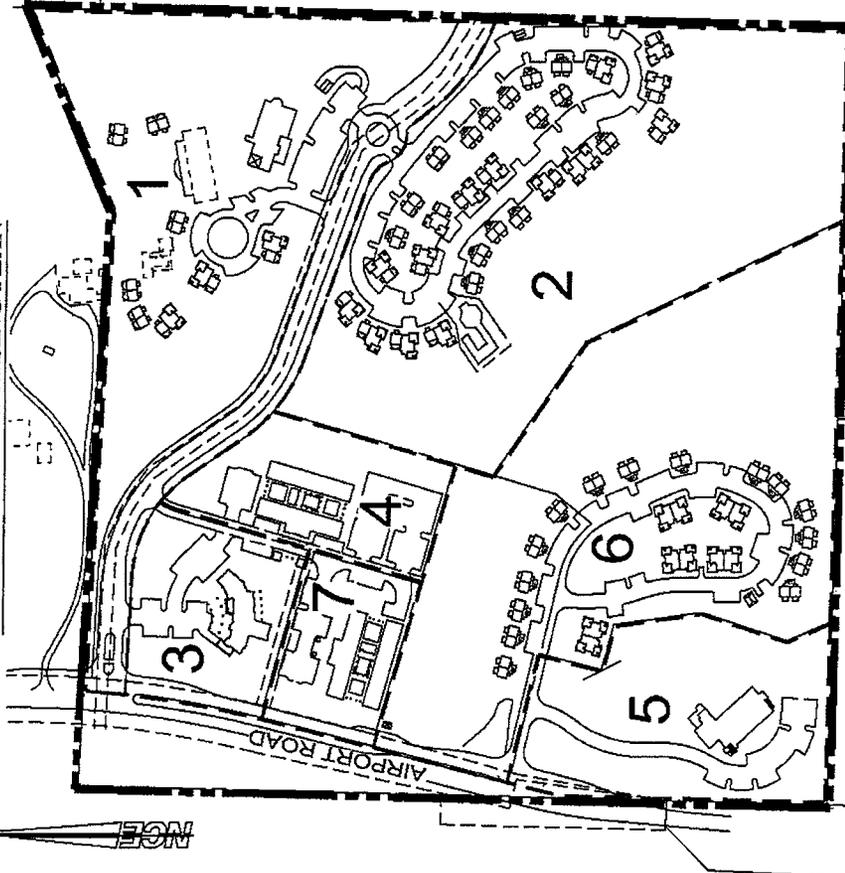
SEQUENCE	1	2	3	4
PARCEL	1	2 & 3	4, 5 & 8	6, 7 & 9
AREA OF DISTURBANCE (A.C)	4.6 AC	4.3 AC	51 AC	7.9 AC

0 100' 200' 400'

SCALE: 1" = 200'

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725 Crawford Rd Suite B, Paso Robles, 239-3127

CONSTRUCTION PHASING PLAN



PHASE	1	2	3	4	5	6	7	8
PARCEL	1	2 & 3	4	5	6	7 & 9	8	
DESCRIPTION	PUBLIC ROADS, SEWER, SITE WORK & BUILDINGS	SITE WORK & BUILDINGS	SITE WORK RESTAURANT	SITE WORK & HOTEL	SITE WORK & HOTEL	SITE WORK & BUILDINGS	SITE WORK & HOTEL	SITE WORK & HOTEL

0 100' 200' 400'

SCALE: 1" = 200'

NCE NORTH COAST ENGINEERING INC.
725 Crawford Rd Suite B, Paso Robles, 239-3127

Site and Landscape Design Guidelines

The Site and Landscape design concept for Destino Paso is to create a high quality resort environment that capitalizes on the natural, wooded, rural character of the site and environs. The siting and scale of buildings in clusters nestled in to the land form is intended to:

- retain oak woodlands
- optimize views
- create a variety of "village" identities
- establish an Mediterranean agrarian village motif

Exhibit X depicts the Landscape Concept for Destino Paso. The Landscape concept illustrates the following design elements:

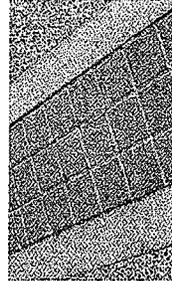
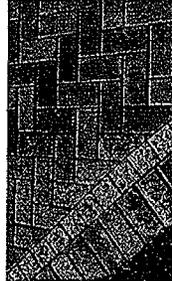
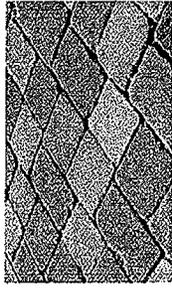
- The massing and types of trees for screening, shade, spatial definition and visual appeal.
- The landscape planting zones that create a transition from lush resort gardens around the buildings to the natural Oak Savannah landscape in the Open Space areas.
- Pedestrian circulation including sidewalks, paths, special pavements and hiking paths.
- Agrarian motif elements including Olive orchard, Vineyards and Lavender fields.
- Project signage and Lighting
- Pool Terraces and Dining Terrace
- Airport Drive landscape median
- Biofiltration areas and ponds.

Exhibit X shows a cross section through the site illustrating the landform, building scale and massing and the major tree plantings. The exhibit includes signage and building landscape concepts that are illustrated in more detail on Exhibits X. x and X following.

DESTINO PASO ARCHITECTURAL AND SITE DESIGN GUIDELINES

Pedestrian and Parking Amenities

Pavements: The quality of the pedestrian experience is very important for this resort. The primary surface material for walks and paths in the project is standard concrete. Where walks and paths cross vehicle travel ways, special pavement will be used to delineate the crossings. Options include pavers that are rustic and natural such as tumbled concrete cobbles or brick.



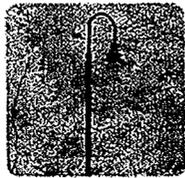
Parking islands: The relationship of parking to the buildings is important for user convenience. The design seeks to get cars near the building while breaking parking bays into as small of numbers in each bay as practical. In key pedestrian crossing areas, the parking islands and finger planters are widened to de-emphasize parking and emphasize walking.

Images

Parking shade: Trellage with vines is incorporated into the parking at key locations to serve as shade for cars and to break up the parking areas into smaller visual units.

image

Site Lighting: Pole mounted fixtures has been selected to vary among the village clusters. The fixtures are to be set on poles as low as practical to achieve adequate security and operational illumination levels, approximately 14 to 20 feet, depending on the application. Luminaires are to be shield, down-directed units.



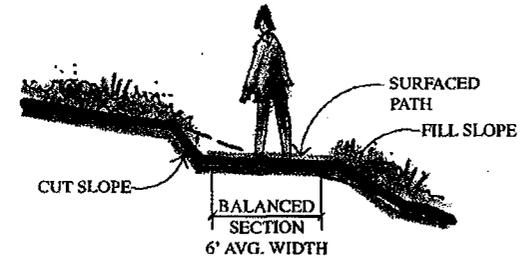
Pole Light
Conference Center / Pool House
Building Types A-D



Pole Light
Boutique Hotel

Pole-Mounted Lights

Hiking Trails: The design includes hiking paths that link the village clusters, combined with the opportunities for non-automobile transport around the site, as described below, the paths enable active people to move around the site for recreation and to other destinations in the resort. The paths are to be to at least US Forest Service trail standards and are not intended for disabled persons.



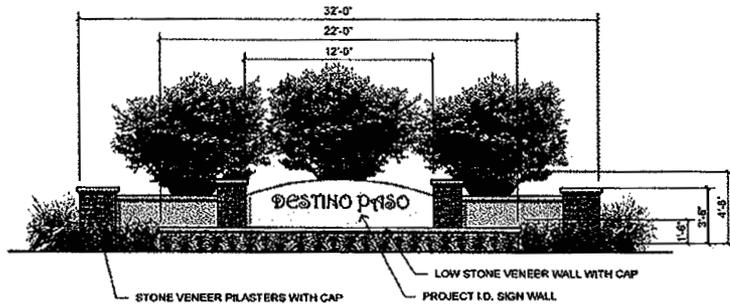
10% TO 30% SIDESLOPE

REFER TO DRWG. #912-1 OF U.S.D.A. "STANDARD DRAWINGS FOR CONSTRUCTION AND MAINTENANCE OF TRAILS," DECEMBER 1996

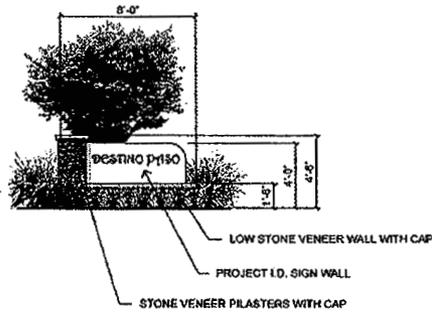
TYPICAL TRAIL SECTION



Signage: The major identity signage is illustrated below. The primary entrance sign on Airport Road identifies the resort. The design is low profile and incorporates stone and planting into the forms and walls. Secondary signage within the resort for the restaurant, boutique hotel and other elements is illustrated below. These signs are smaller monument type signs. All signs are illuminated with ground mounted flood lights. The logo, name or other identify images may vary on signs in the project but should carry forward the motif of the monument sign materials and scale.

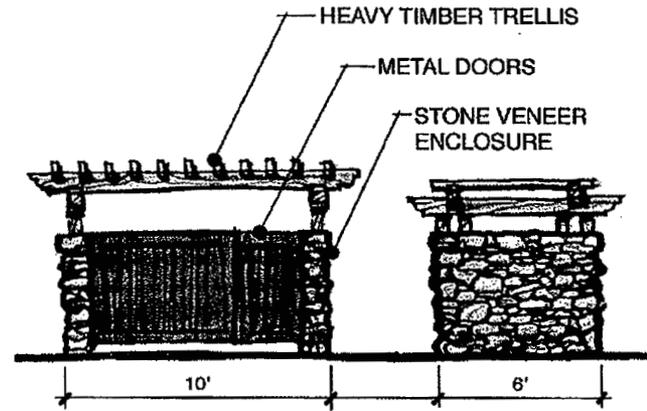


Major Project Monument Sign Elevation



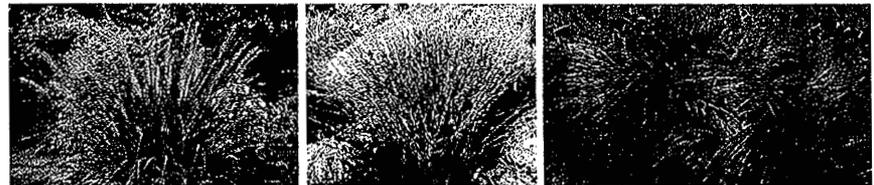
Interior Project I.D. Sign Elevation

Service Areas and Trash Enclosures: Trash enclosures and service buildings are situated around the resort. Each village cluster will have facilities in the main buildings or as separate small service buildings for housekeeping, trash management, and facility maintenance. These buildings may house a service cart. Trash enclosures are to carry forward the theme of the resort incorporating stone, palter and trellis elements



TRASH ENCLOSURE with TRELLIS

Bio-filtration: Stormwater will be clarified to regulatory standards using bio-swales. Bioswale plantings will include native grasses, sedges and rushes adapted to winter saturation and moderate summer drought.



Landscape Concepts

Typical Building Landscape: The following building elevation images depict the scale, species, spacing and massing of trees, shrubs and ground covers in the lush, Mediterranean resort garden areas shown on Exhibit X.



Front Elevation



Front Elevation

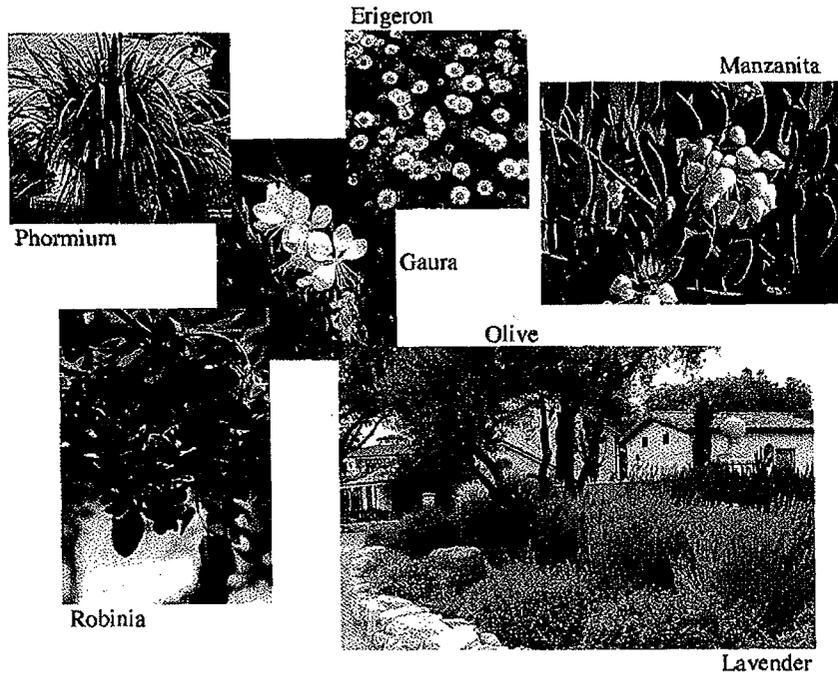


Front Elevation

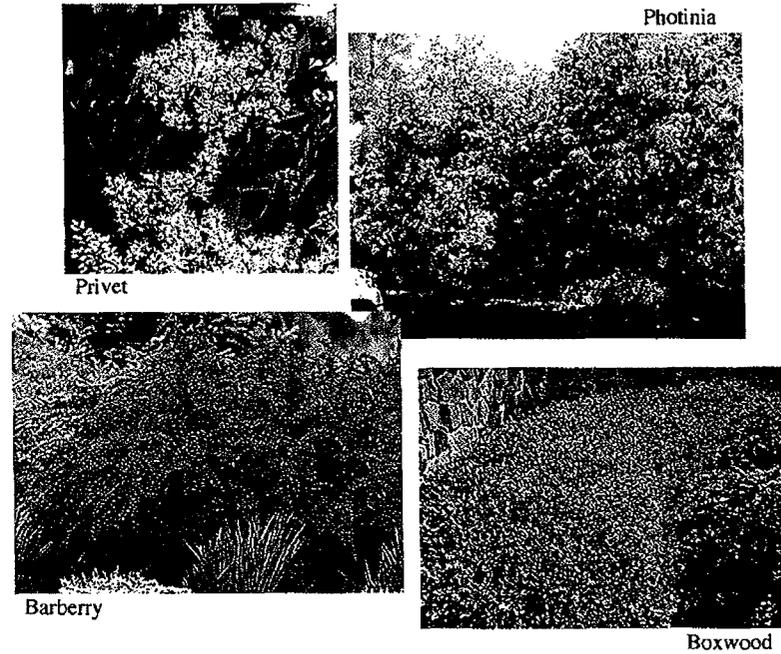


Front Elevation

Native Transition Landscape: The Landscape Concept for the resort is to create a naturalistic transition from the Mediterranean resort gardens to the Oak Savannah landscape in the Open Space. The transitional planting zones will include the kinds of plantings depicted in the images below.



Screening of mechanical equipment: Planting will be used to screen the views to backflow equipment, transformers and meters on buildings. The planting screen should avoid a contrived "hedge" appearance. The planting should be layered in sizes and width, as practical given the space, and use plants that are suitable for the application such as Privet, Photinia, Boxwood, Fortnight Lily and Barberry.



Architectural Design Guidelines

The Architectural Design Guidelines establish the standards for materials, styles, finishes and colors that should be carried forward in each village development and building type. Exhibit X Preliminary Design Elevations and Details-Hotel and Exhibit X Preliminary Design Elevations and Details-Visitor Lodging Building Type D illustrate the design standards for a range of materials and details that may be incorporated in all the buildings.

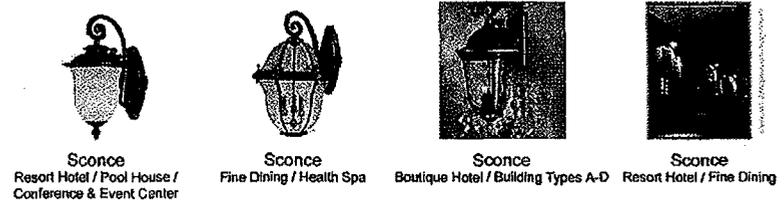
Exhibit X establishes the architectural standards for the commercial type buildings including the Hotel, restaurant, spa, boutique hotel and conference center. Exhibit X establishes the architectural standards for the Visitor Lodging buildings A-D and the Remodeled existing house.

Exhibits X and X depict a range of architectural detailing schemes that may be used. For example, each commercial building may not have the same roof tile or window detailing as the others. The various Visitor Lodging units may have one type of balcony railing on one and a different one another. Likewise for chimneys, windows and doors. In this way a more organic, "village" appearance can be created while maintaining overall design consistency and harmony. The various buildings are intended to have variations in stylistic detailing and forms while maintaining a unified overall resort theme. The architectural styles range from Palladian to Moorish-Southern Spanish to rustic Italian motifs.

Exhibits X-X for the restaurant, spa boutique hotel, and visitor lodging units illustrate a conceptual level of architectural design. These illustrate the form and massing, fenestration pattern, height, and the basic architectural detail of eaves, stairs, columns etc. The prototypical detailing on Exhibits X and X for the hotel and visitor lodging unit D are intended to be incorporated into the next level of design for each of these buildings.

Finishes and Colors: Exhibit X shows the range of colors that the architectural palette may include. As in style, the colors of the various buildings should vary within a prescribed range to create organic unity. Final building architectural plans should be consistent with this palette of colors. Final color and material boards for each building permit application should include color samples for the body and trim colors, roof tile and finishes on windows and balustrades, awning and shutter colors and stone veneer, and so forth.

Sconce lights: Exterior building lighting in the form of decorative sconce lights will be a primary form of exterior illumination. Recessed, soffit type lighting will be used provide additional illumination in alcoves, breezeways, porches and so forth. The range of sconce lights are illustrated below.



Wall-Mounted Lights

Mechanical Equipment: Exterior mechanical equipment shall be screened by ornamental wrought iron grills for all wall mounted equipment. Roof mounted equipment recessed in roof wells. At grade equipment shall be behind utility yard walls or behind landscaping of similar width and height.

Unscreened roof mounted units or screening by lattice or fencing of any material shall not be allowed. Nor shall roof mounted equipment and associated screening extend above the adjacent roof line ridges.

Facility Equipment Recommendations:

Resort Hotel

- Packaged Terminal Air Conditioners & Heat Pump on the exterior face of building

Building Type C & D

- Heat Pumps above bathroom ceilings

Health Spa

- Forced Air Units in roof well or mechanical cabinets
- Air Conditioner condensers screened by landscaping of similar width and height

Fine Dining

- Forced Air Units in roof well or mechanical cabinets
- Air Conditioner condensers screened by landscaping of similar width and height
- Restaurant equipment (for example, hood exhaust fans and intake air equipment) in roof well

Recreation Area / Pool / Pool House

- Forced Air Units in roof well or mechanical cabinets
- Air Conditioner condensers screened by landscaping of similar width and height

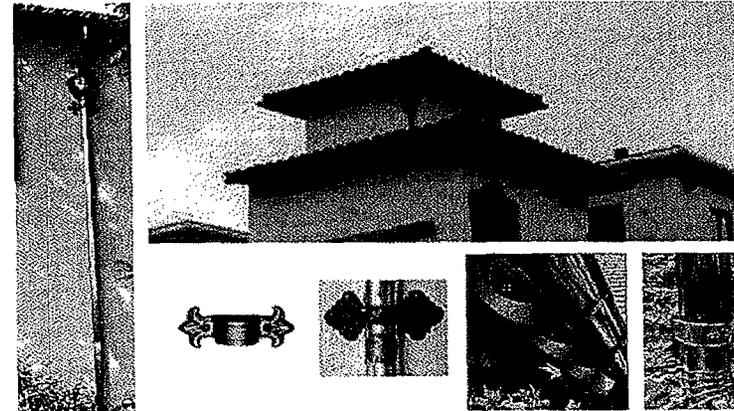
Conference Building

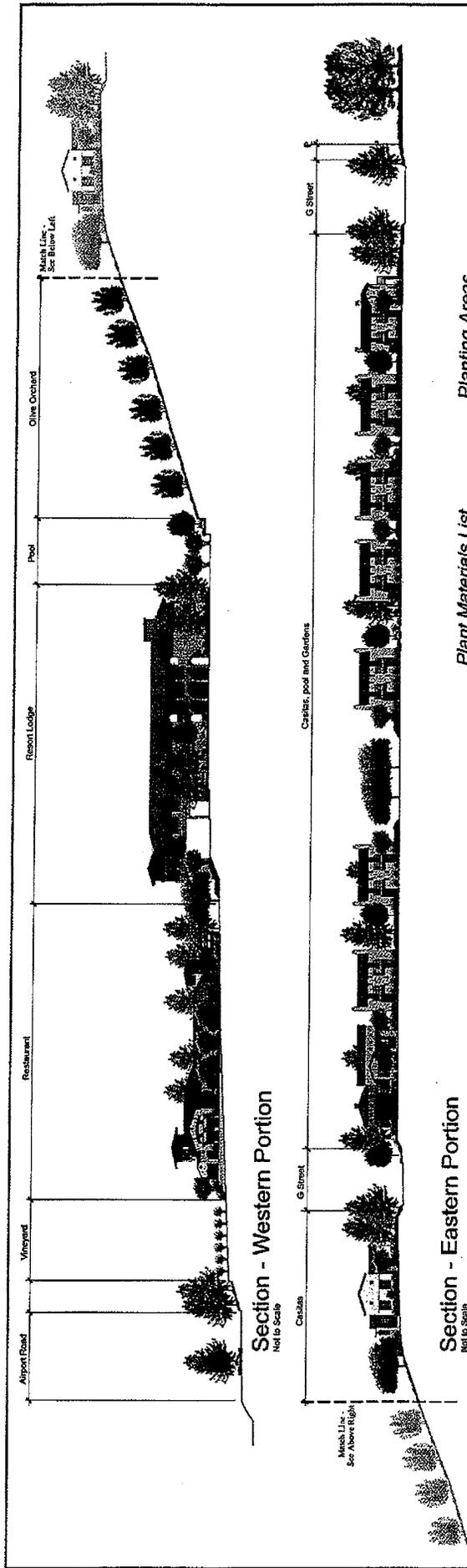
- Forced Air Units in roof well or mechanical cabinets
- Air Conditioner condensers screened by landscaping of similar width and height

Boutique Inn

- Packaged Terminal Air Conditioners & Heat Pump on the exterior face of building

Roof Drains and Downspouts: All buildings shall be guttered with half round aged copper or oil bronzed finishes. All downspouts shall be round and attached with decorative downspout brackets. All commercial buildings shall be guttered to collector boxes and downspouts concealed in walls. Residential buildings, for example Building Type C & D, may incorporate exposed round downspouts with decorative downspout brackets.



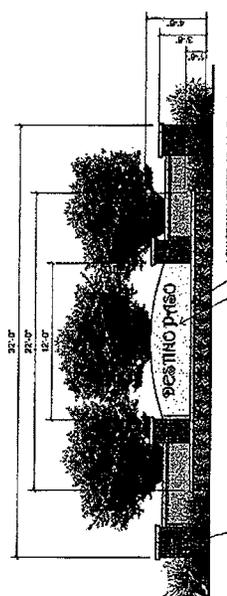


Planting Areas

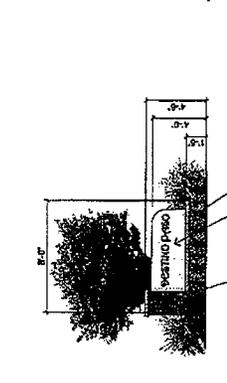
- 1. Natural Zone**
Native Oak Trees
California Live Oak
Village Oak
Canyon Grasses
- 2. Natural Edge Zone**
Oak Trees: small & specimen accent
Cacti: Yucca
Native / Mediterranean Shrubs:
Nolina / Yucca
Cistus sp. (Rockrose)
Baccharis sp. (Dwarf Coyote Bush)
Artemisia californica (California Sagebrush)
Hydrangea arborescens (Viburnum)
- 3. Agrarian Edge Zone**
Lavender Fields
Vineyards
Olive Grove
Shrub: Olive
Olive Trees
- 4. Garden Edge Zone**
Ornamental Grasses
Cistus sp. (Rockrose)
Lavender
Sagebrush
Artemisia tridentata
Zauschneria sp. (California Fescue)
- 5. Resort Garden Zone**
SHRUBS:
Cyperus
Cyperus
Ligustrum 'Tasmanian' (Shiny Privet)
Helleborus arborescens (Toyon)
Paeonia
Prunella
Fuchsia
Clematis
Ground Covers:
Columbine
Crocus
Helleborus
Rosa
Sambucus
Ornamental Grasses
- 6. Lawn / Meadow Zone**
Turf-type Tall Fescue

Plant Materials List

- Native Oak Trees**
California Live Oak
Village Oak
Canyon Grasses
- Large Deciduous Trees**
Palmier racemosa
California Sycamore
- Deciduous Trees**
Fraxinus excelsior 'Royal Red'
Fraxinus excelsior 'Royal Red'
Robbia amplexicaulis 'Purple Robe'
Olive Trees
Olea europaea 'Swan Hill'
- Conifer Trees**
Pinus sabiniana
Pinus torreyana
- Small Accent Trees**
Arbutus 'Natchez'
Leguminosae 'Jade'
Chilopsis 'Isabellensis'
- Other Materials**
California Live Oak
Village Oak
Canyon Grasses
Palmier racemosa
Fraxinus excelsior 'Royal Red'
Fraxinus excelsior 'Royal Red'
Robbia amplexicaulis 'Purple Robe'
Olea europaea 'Swan Hill'
Pinus sabiniana
Pinus torreyana
Arbutus 'Natchez'
Leguminosae 'Jade'
Chilopsis 'Isabellensis'

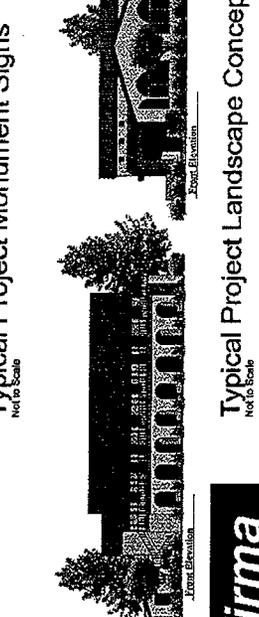


Major Project monument Sign Elevation

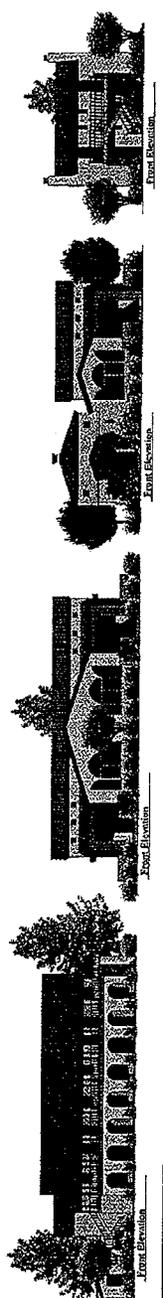


Interior Project I.D. Sign Elevation

Typical Project Monument Signs



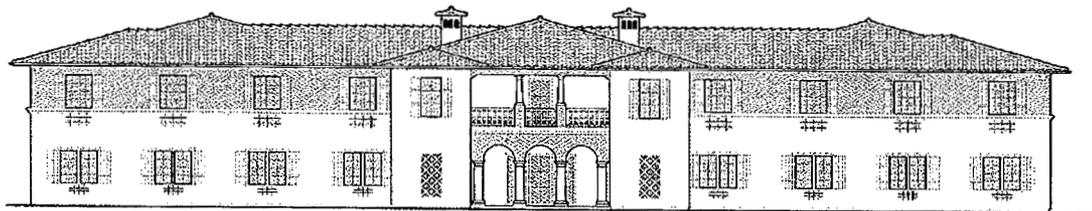
Typical Project Landscape Concept



DESTINO PASO
Landscape Sections

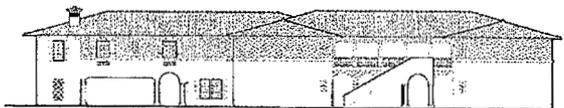
Tract 2962
Paso Robles, California
10





Front Elevation

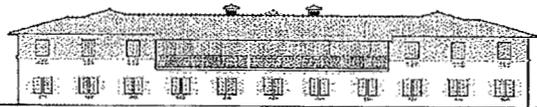
SCALE: 1/8" = 1'-0"



Right Elevation

LEFT ELEVATION SIMILAR

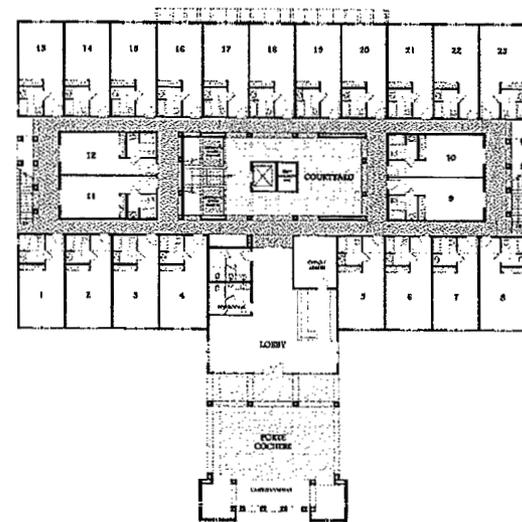
SCALE: 1/8" = 1'-0"



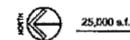
Rear Elevation

SCALE: 1/8" = 1'-0"

Preliminary Elevations



Lower Floor Plan



25,000 s.f.

Preliminary Floor Plan

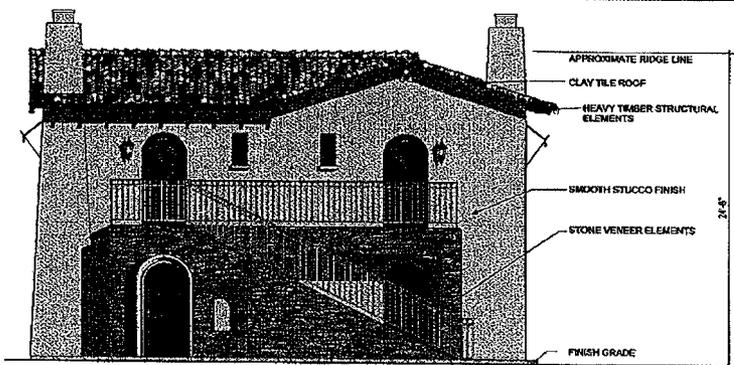
SCALE: 1/8" = 1'-0"

DESTINO PASO

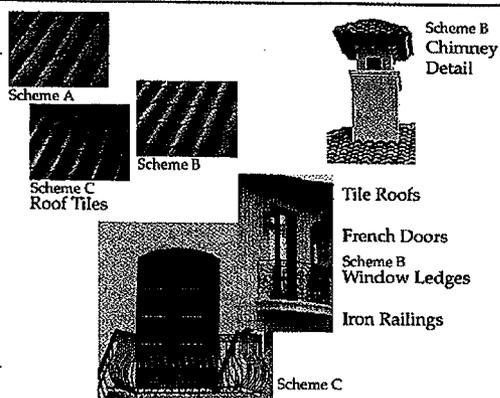
Resort Hotel

Tract 2962

Paso Robles, California



Front Elevation



Scheme A

Scheme B

Scheme C

Roof Tiles

Scheme B
Chimney
Detail

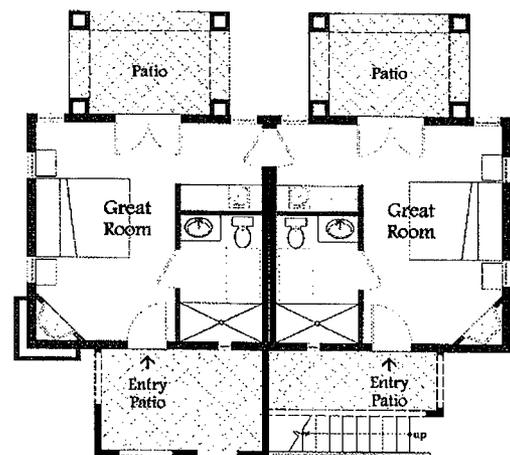
Tile Roofs

French Doors
Scheme B
Window Ledges

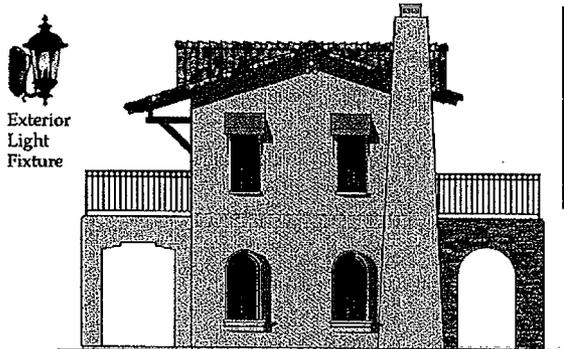
Iron Railings

Scheme C

Balcony & Iron Railings



First Level Floor Plan



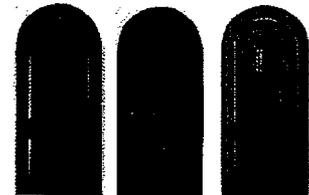
Left Elevation



Rear Elevation



French Doors

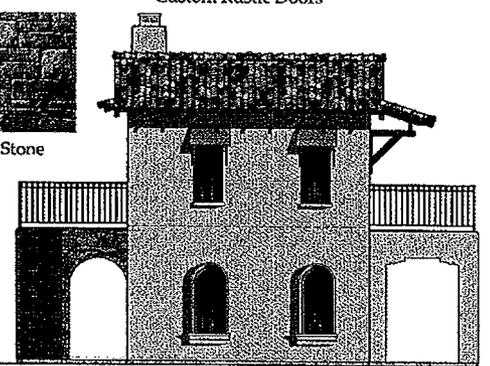


Scheme A Scheme B Scheme C
Custom Rustic Doors

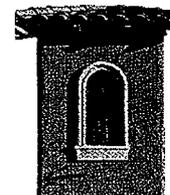
Radius
Door
Tops



Ledger Stone



Right Elevation



Scheme B
Radius Windows



Scheme A
Window Awnings



Scheme C
Rustic Shutters

Tile Roofs
Awnings with
Iron Supports
Smooth Stucco

(4) 324 s.f. Units

Preliminary Floor Plan

SCALE: 1/4" = 1'-0"



Steven Pughist
ARCHITECTURE
AIA

Preliminary Elevations

SCALE: 1/4" = 1'-0"

DESTINO PASO

Building Type D

Tract 2962

Paso Robles, California

COLOR SCHEME 1



ROOF
Manufacturer: U.S. Tile
Color: One-Piece Tuscan Blend



STUCCO PRIMARY COLOR
Manufacturer: Frazee
Color: 8765B Beaver Creek



STUCCO ACCENT COLOR
Manufacturer: Frazee
Color: 7741W Silvered Pecan



WOOD TRIM
Manufacturer: Frazee
Color: 8346N Taiga

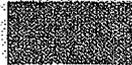


WINDOWS
Type: Clad Exterior
Color: Dark Bronze

COLOR SCHEME 2



ROOF
Manufacturer: U.S. Tile
Color: One-Piece Tuscan Blend



STUCCO PRIMARY COLOR
Manufacturer: Frazee
Color: 8184M Mosaic



STUCCO ACCENT COLOR
Manufacturer: Frazee
Color: 8674M Muddy River



WOOD TRIM
Manufacturer: Frazee
Color: 8345D Western Cedar



WINDOWS
Type: Clad Exterior
Color: Dark Bronze

COLOR SCHEME 3



ROOF
Manufacturer: U.S. Tile
Color: One-Piece Tuscan Blend



STUCCO PRIMARY COLOR
Manufacturer: Frazee
Color: 7754M Safari Tan



WOOD TRIM
Manufacturer: Frazee
Color: 8336N Bavarian Chalk



WINDOWS
Type: Clad Exterior
Color: Dark Bronze



STONE
Manufacturer: Cultured Stone
Type: Country LedgeStone
Color: Honey CVS-20005

COLOR SCHEME 4



ROOF
Manufacturer: U.S. Tile
Color: One-Piece Tuscan Blend



STUCCO PRIMARY COLOR
Manufacturer: Frazee
Color: 8243N Amber Waves



STUCCO ACCENT COLOR
Manufacturer: Frazee
Color: 7866N Roaring Hearth



WOOD TRIM
Manufacturer: Frazee
Color: 8346N Taiga



WINDOWS
Type: Clad Exterior
Color: Dark Bronze

COLOR SCHEME 5



ROOF
Manufacturer: U.S. Tile
Color: One-Piece Tuscan Blend



STUCCO PRIMARY COLOR
Manufacturer: Frazee
Color: 8183M Salt Bush



STUCCO ACCENT COLOR
Manufacturer: Frazee
Color: 8181W Maison Blanche



WOOD TRIM
Manufacturer: Frazee
Color: 8276A Mesquite Canyon



WINDOWS
Type: Clad Exterior
Color: Dark Bronze



STONE
Manufacturer: Cultured Stone
Type: Country LedgeStone
Color: Honey CVS-20005

COLOR SCHEME 6



ROOF
Manufacturer: U.S. Tile
Color: One-Piece Tuscan Blend



STUCCO PRIMARY COLOR
Manufacturer: Frazee
Color: 8765D Beaver Creek



STUCCO ACCENT COLOR
Manufacturer: Frazee
Color: 8183M Salt Bush



PAUX MARBLE TRIM
Manufacturer: Frazee
Color: 8583D Smoke Bush



WINDOWS
Type: Clad Exterior
Color: Dark Bronze

COLOR SCHEME 7



ROOF
Manufacturer: U.S. Tile
Color: One-Piece Tuscan Blend



STUCCO PRIMARY COLOR
Manufacturer: Frazee
Color: 8185D Ardmore Green



STUCCO ACCENT COLOR
Manufacturer: Frazee
Color: 7712W Dijon



WOOD TRIM
Manufacturer: Frazee
Color: 8346N Taiga



WINDOWS
Type: Clad Exterior
Color: Dark Bronze



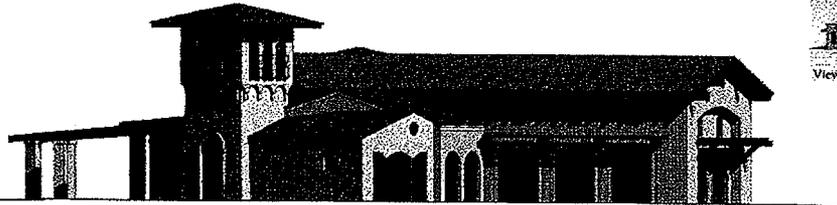
STONE
Manufacturer: Cultured Stone
Type: Country LedgeStone
Color: Honey CVS-20005

DESTINO PASO

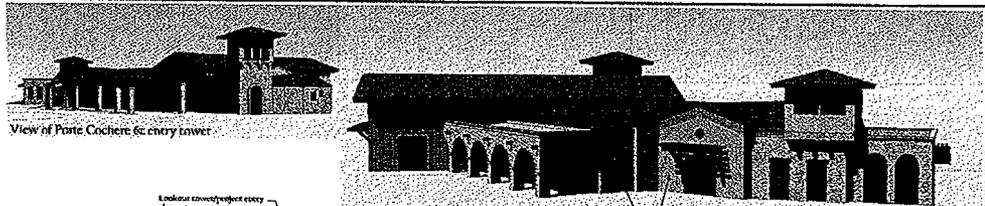
Finishes & Color Samples

Tract 2962

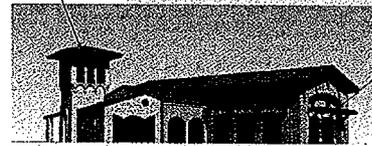
Paso Robles, California



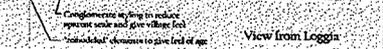
West Elevation



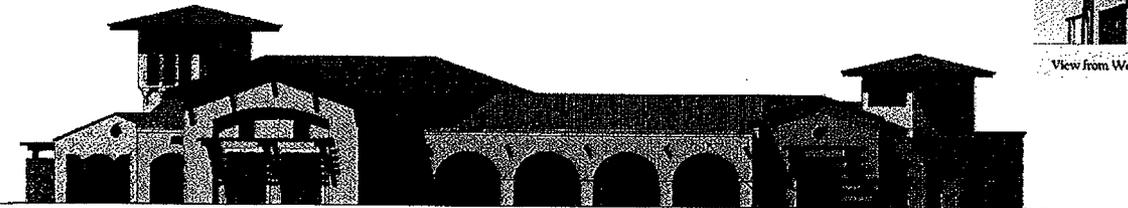
View of Porte Cochere for entry tower



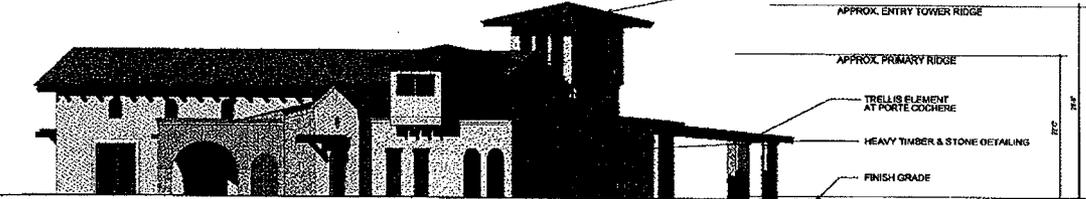
View from West



View from Loggia

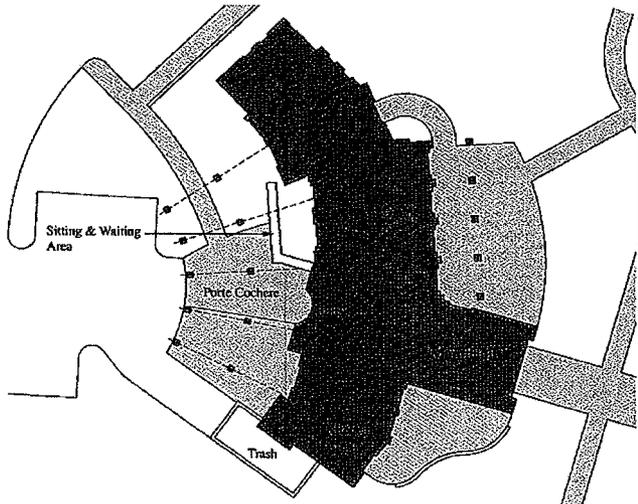


South Elevation



East Elevation

- SMOOTH STUCCO FINISH
- TILE ROOF
- APPROX. ENTRY TOWER RIDGE
- APPROX. PRIMARY RIDGE
- TRELLIS ELEMENT AT PORTE COCHERE
- HEAVY TIMBER & STONE DETAILING
- FINISH GRADE



North Elevation

MECHANICAL EQUIPMENT ENCLOSED IN ROOF STRUCTURES OR BEHIND HIDDEN PARAPETS FROM LOGGIA

SCREENED TRASH AREAS

Conceptual Elevations
Not to Scale

4,800 S.F. RESTAURANT
900 S.F. GIFT SHOP

Conceptual Floor Plan
Not to Scale

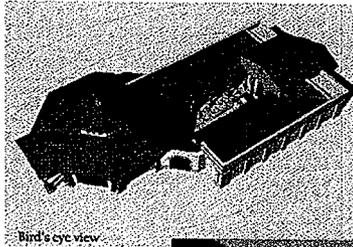
DESTINO PASO

Fine Dining
Tract 2962
Paso Robles, California



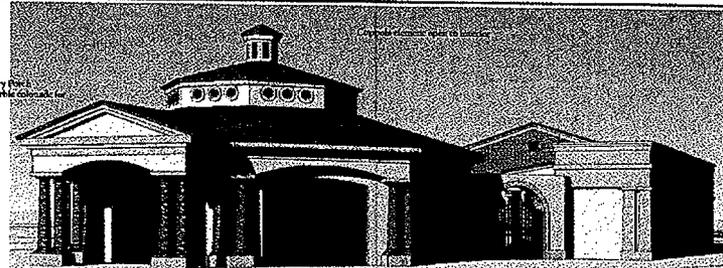
Southeast Elevation

WROUGHT IRON GATE



Bird's eye view

Arched Entry Portico
with Fluted Marble Columns
and Forward Feet



Building entrance with peak view to courtyard

Plaster & Crown Moulding



Northeast Elevation

PARAPET
SMOOTH



"Acropolis Temple" type structure at end of
Courtyard. This screen looks to complete the
courtyard and also act as a wall entry element
to the piazza in the project beyond. The Roman
villa position to appear on be the climax of the group.



Northwest Elevation

APPROX. LANTERN PEAK

TILE ROOF

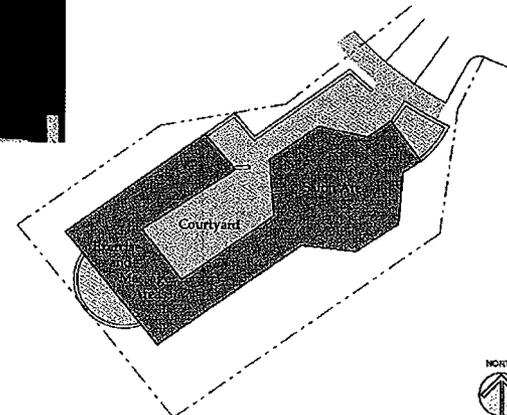
FAUX MARBLE COLUMNS

SMOOTH STUCCO FINISH

STUCCO TRIM & DETAILING

FINISH GRADE

1/4"



Conceptual Floor Plan

2,090 SQUARE FEET



Not to Scale



Southwest Elevation

Conceptual Elevations

Not to Scale

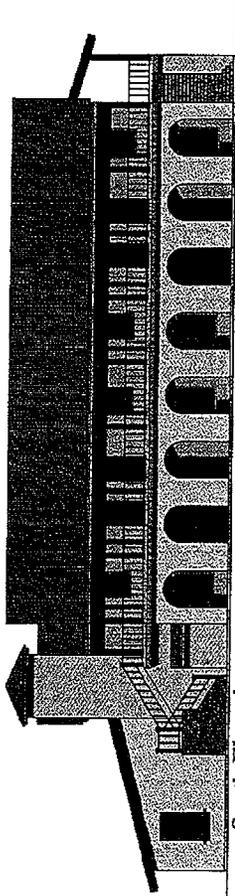
DESTINO PASO

Health Spa

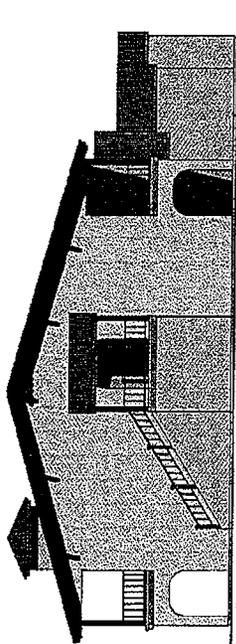
Tract 2962

Paso Robles, California

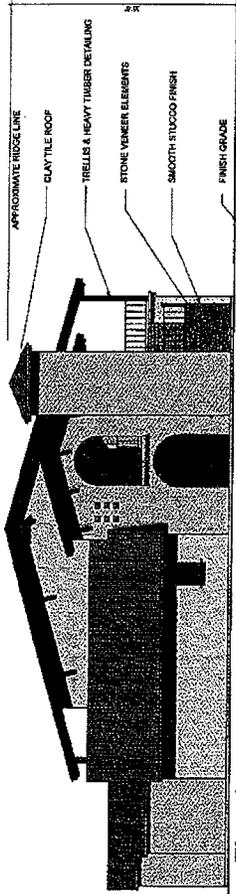
Not to Scale



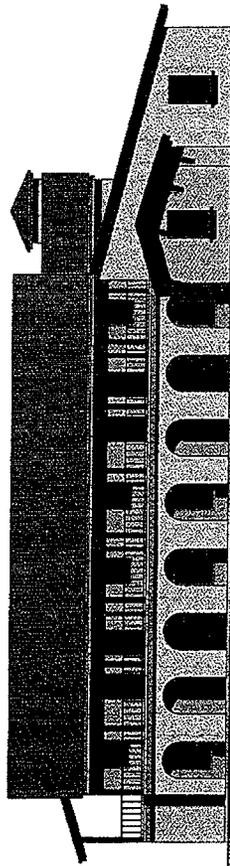
South Elevation



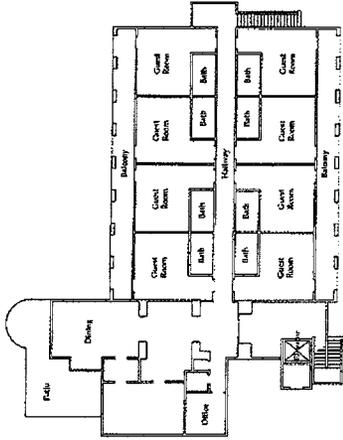
East Elevation



West Elevation



North Elevation



4,000 SQUARE FEET

Conceptual Floor Plan
NOT TO SCALE

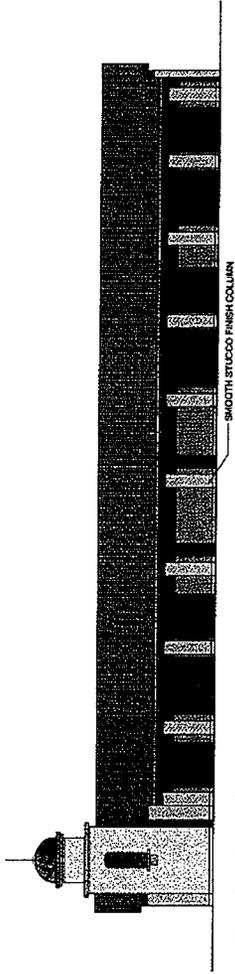
DESTINO PASO

Boutique Hotel

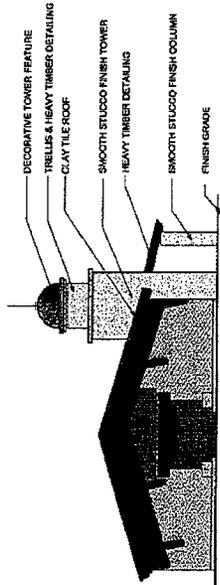
Tract 2962

Paso Robles, California

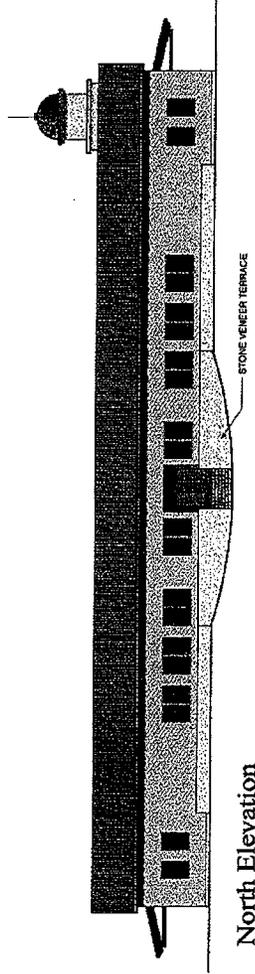
Conceptual Elevations
NOT TO SCALE



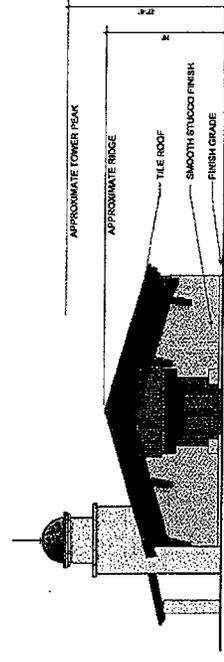
South Elevation



West Elevation

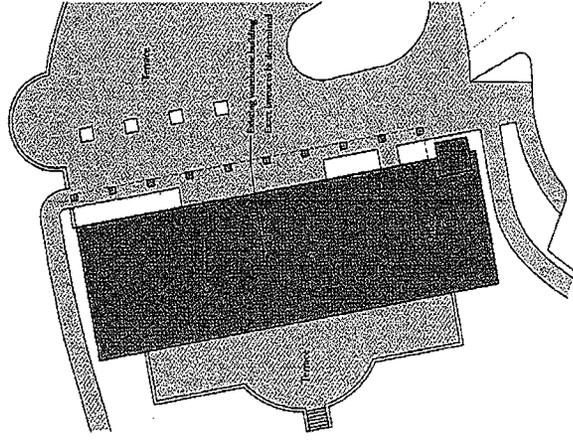


North Elevation



East Elevation

Conceptual Elevations
NOT TO SCALE



5,000 SQUARE FEET

Conceptual Floor Plan
NOT TO SCALE

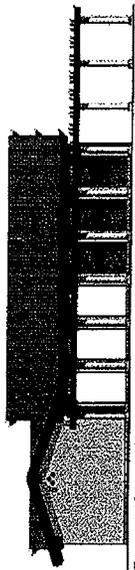


DESTINO PASO

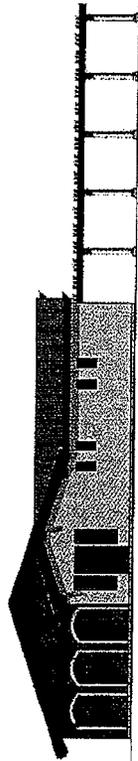
Poolside Event Pavilion

Tract 2962

Paso Robles, California



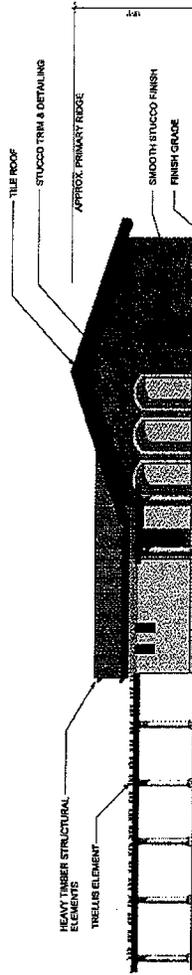
East Elevation



South Elevation



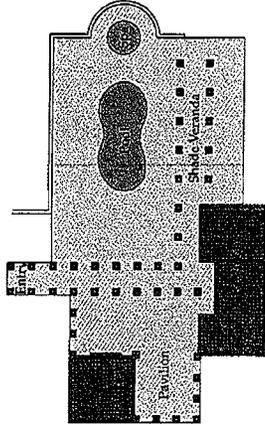
West Elevation



North Elevation

Conceptual Elevations

Not to Scale



SUDS, L.L.C.

Not to Scale

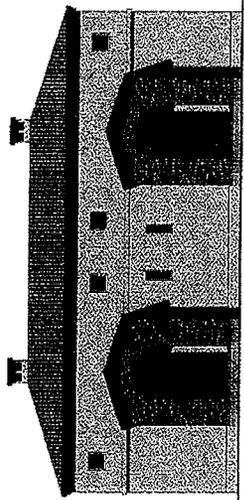
Conceptual Floor Plan

DESTINO PASO

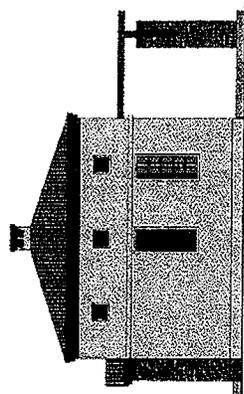
Recreation Area / Pool / Pool House

Tract 2962

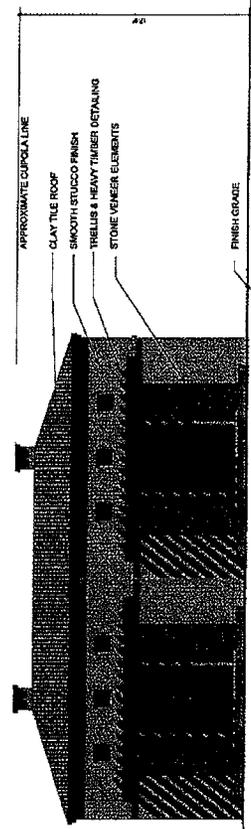
Paso Robles, California



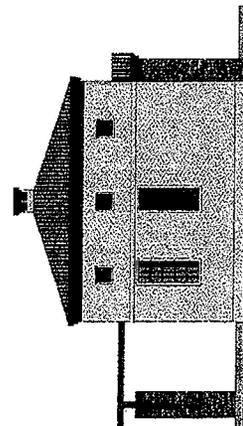
Front Elevation



Right Elevation

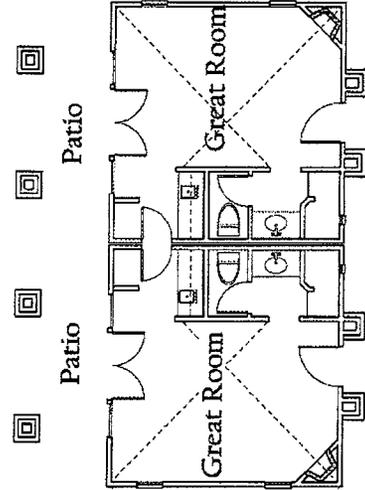


Rear Elevation



Left Elevation

Conceptual Elevations
REVISED



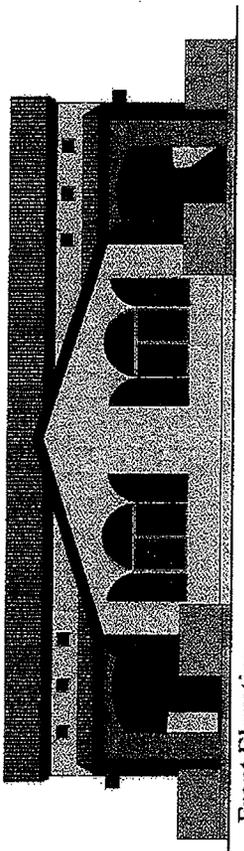
Conceptual Floor Plan
REVISED

(2) 324 s.f. units

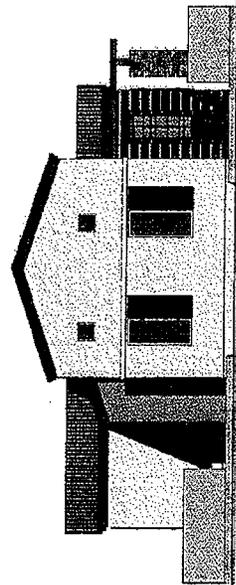
DESTINO PASO

Visitor Lodging
Building Type A

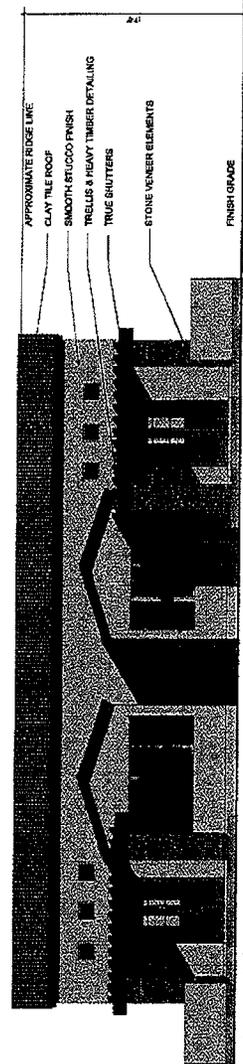
Tract 2962
Paso Robles, California



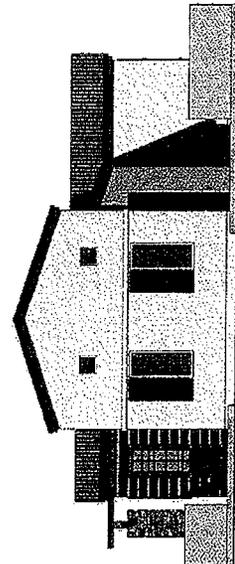
Front Elevation



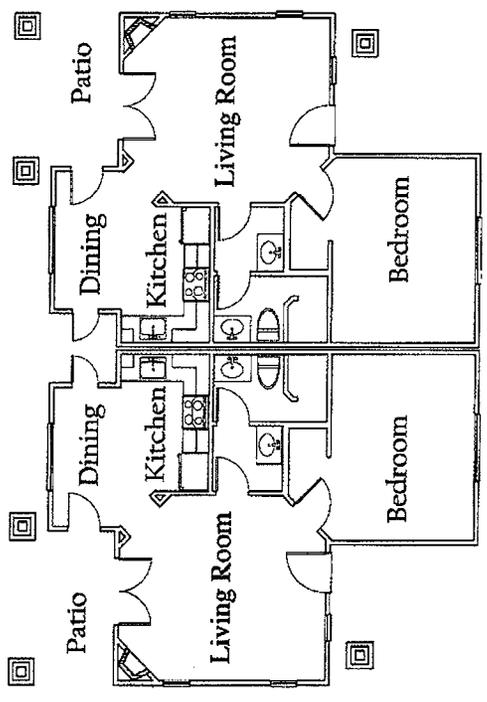
Right Elevation



Rear Elevation



Left Elevation



Conceptual Floor Plan

(2) 625 s.f. units

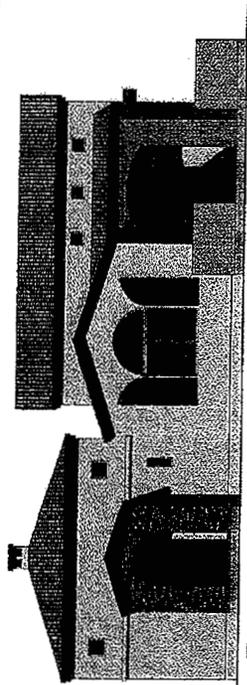
DESTINO PASO

Visitor Lodging
Building Type B

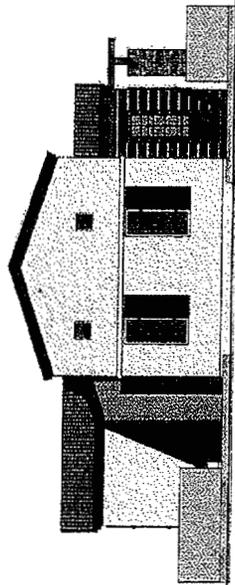
Tract 2962
Paso Robles, California

Conceptual Elevations

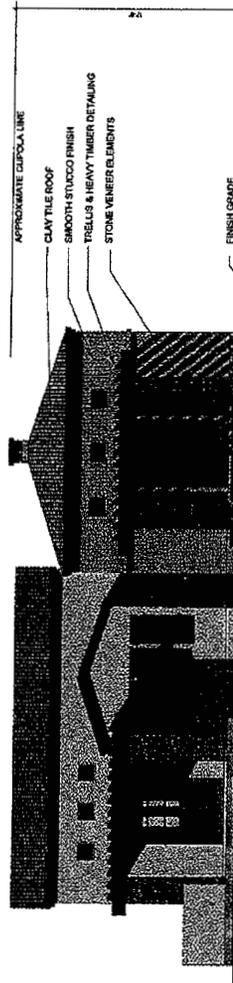
DATE: 01/11/11



Front Elevation

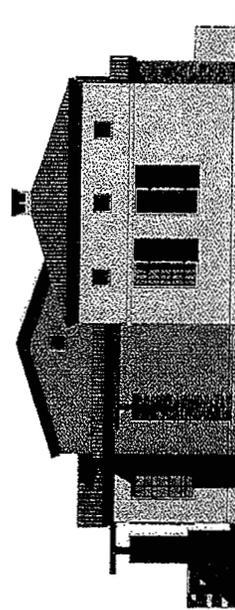


Right Elevation



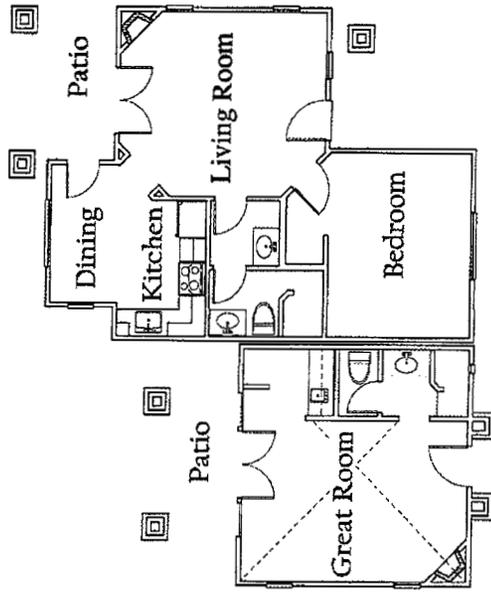
Rear Elevation

- APPROXIMATE GUTTER LINE
- CLAY TILE ROOF
- SMOOTH STUCCO FINISH
- TRELLIS & HEAVY TIMBER DETAILING
- STONE VENEER ELEMENTS
- FINISH GRADE



Left Elevation

Conceptual Elevations
Not to Scale



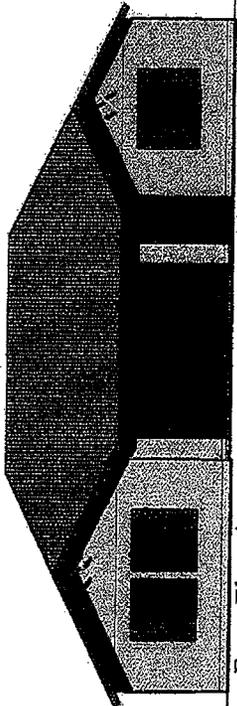
Conceptual Floor Plan
Not to Scale

(1) 324 sq. Unit and (1) 651 sq. Unit

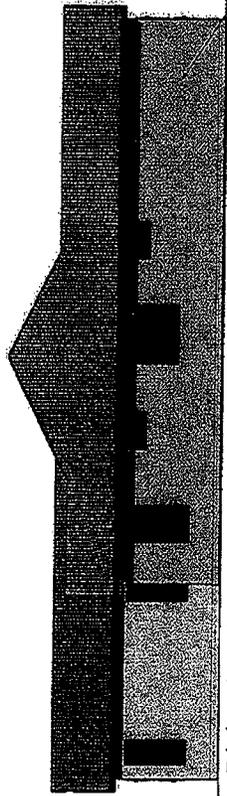
DESTINO PASO

Visitor Lodging
Building Type C

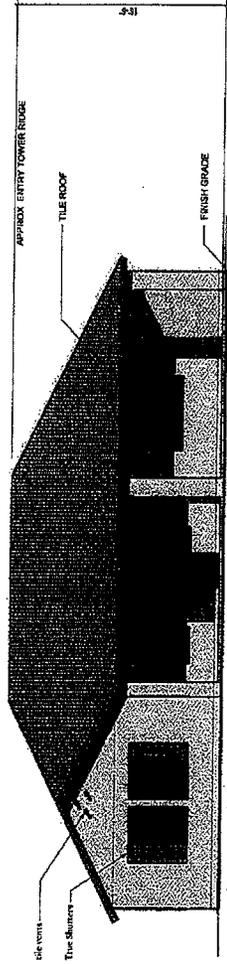
Tract 2962
Paso Robles, California



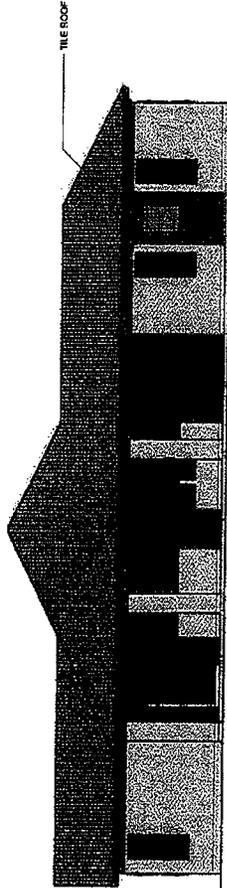
Front Elevation



Right Elevation

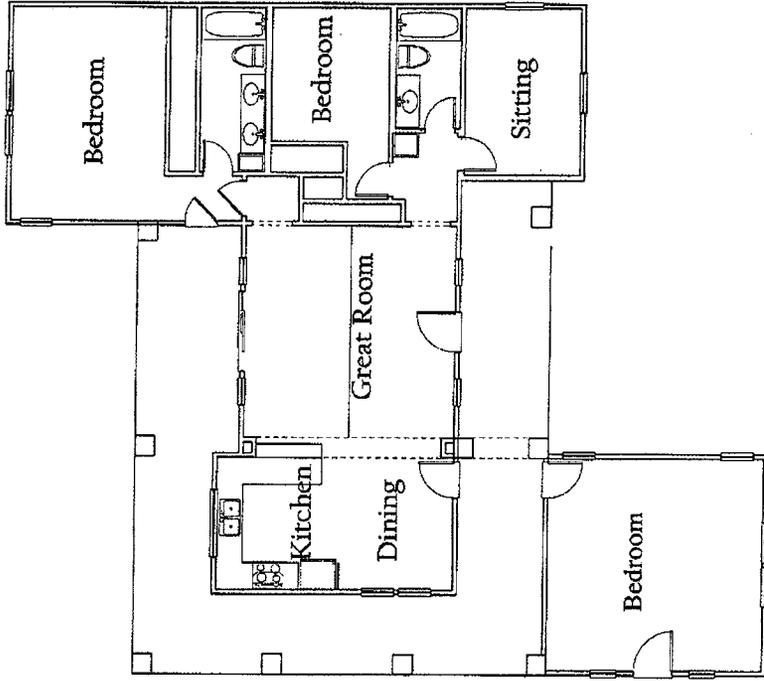


Rear Elevation



Left Elevation

Conceptual Elevations
NET TO SCALE



Conceptual Floor Plan
NET TO SCALE

1,195 s.f.



DESTINO PASO

Existing Residence Conversion

Tract 2962

Paso Robles, California



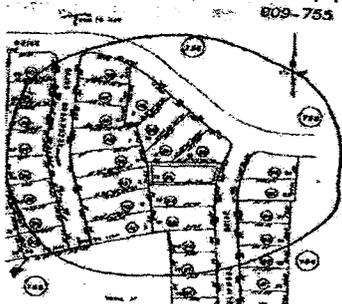
**CITY OF EL PASO DE ROBLES
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION GUIDE FOR MAJOR DEVELOPMENT**

(805) 237-3970
1000 Spring Street
Paso Robles, CA. 93446

In order to submit an application that will be processed and scheduled for public hearing, the below information/items must be submitted. These items are the minimum requirements and additional information and plans may be required to process your application after staff has reviewed your project. An application will be considered incomplete if any of the submittal requirements are not submitted with an application.

General Requirements for All Applications

- 1. **COMPLETED APPLICATION FORM:** Must include property owner's signature on form
- 2. **PROJECT DESCRIPTION:** A letter that clearly and completely explains the proposal. If the applicant wishes to request a modification of zoning code requirements, it is necessary to include a statement listing all of the zoning code requirements that are proposed or modified, and the reasons why the City should consider approval of these modifications. If the application involves a General Plan Amendment or Rezone, the applicant should include a written statement explaining the reasons for the proposed amendment and/or rezone, the desired land use category, the ultimate type of development envisioned, and how it would provide benefit to the community.
- 3. **ENVIRONMENTAL INFORMATION FORM:** Completely filled out with applicant's signature. Depending on location and circumstance, staff may request additional environmental information such as special traffic analysis, biological studies, historical inventories, etc. It also may be necessary for your project to separately contact agencies such as U.S. Dept of Fish and Game, Caltrans, Federal Emergency Management Association (FEMA), etc. If you feel this may apply to your project, it is recommended to contact the Planning Division before speaking with these agencies.
- 4. **DEPOSIT:** As required by the City's Fee Resolution and as applicable. Additional funds may be required depending upon the scale of the project.
- 5. **ADDRESS LABELS:** City and State codes require that public notice for a public hearing be mailed ten (10) days in advance of the hearing. The applicant may contact a Title or Data Company to have these prepared. If the applicant wishes to prepare the labels him/herself, then the following should be submitted:
 - a. **Two (2) sets of typed mailing address labels** which include addresses of owners of all properties located within a 300 foot radius of the exterior property lines of your project site as shown on the latest County Assessor's Tax Rolls. An example of the 300 foot radius and the mailing address label is shown below. In this example, the APN for the site is 009-755-053. The first three numbers indicate the Book, the second three indicate the page, and the last three indicate the parcel. Please note that the 300 foot radius extends onto Assessor's Map pages 009-756, 009-753, 009-754, and 009-752.



009-451-019 John and Jane Doe 634 Main Street Anytown, CA 93000
--

- b. Include **four (4)** labels each for the property owner of the site, and the applicant and representative (if any).
- c. The applicant must submit the attached "Certified Property Owners List," that the labels contain all owners of property within 300 feet as they appear on the latest County Assessor's Tax Roll.
- d. Must sign Certified Property Owner List confirmation sheet

6. **TITLE REPORT:** Two (2) copies dated no earlier than 6 months prior to the application filing date.

7. **SCANNED COPIES OF THE PROJECT DESCRIPTION, SITE PLAN, AND ELEVATIONS:** For purposes of the City website, the project description, site plan, and elevations must be submitted electronically in PDF format (JPEG is also acceptable) on either a 3.5 inch disk or an IBM compatible CD.

Drawing Requirements for All Applications

8. **Nine (9) full size copies** of the individual Site Plan and **Four (4) full size copies** of all other plans are required for the initial review of the project. Additional plans will need to be submitted after staff has reviewed the project.

Application Type	Drawing Requirements							
	Plot Plan	Site Plan	Landscaping	Elevation	Colorboard	Preliminary Grading and Drainage	Tentative Tract/ Parcel Map	Residential PD requirements
Minor Conditional Use Permit	X							
Major Conditional Use Permit		X	X	X	X	X		
Commercial/Industrial Planned Development		X	X	X	X	X	X	
Residential Planned Development		X	X	X	X	X	X	X
Tentative Tract /Parcel Map					X	X	X	
Abandonment		X						
General Plan Amendment/Rezone		X	X	X	X	X		
Variance/Waiver	X							

9. **DRAWING REQUIREMENTS FOR ALL PLANS (EXCEPT PLOT PLANS):** All drawings must contain clear, legible, accurate, and complete information that conforms to all City codes and policies:
- a. Two (2) 8 1/2" x 11" reductions for all pages
 - b. Scale: Engineering scales **1"=10' through 1"=40'** may be used. Small scales such as 1"=100' may only be used on an overall site plan for a large project to fit on a 24 x 36" sheet. Architectural scales are not acceptable.
 - c. Size: Unless absolutely necessary, **no sheet shall be larger than 24" x 36"**. If multiple sheets are necessary, each sheet shall show overlap, match lines and an index map.
 - d. North Arrow: Each sheet shall have a north arrow.
 - e. Vicinity Map: A small vicinity map shall be provided to indicate the project's location.
 - f. Applicant / Owner: Show name and mailing address.
 - g. Project Representative: Show name, mailing address, and contact phone number.
 - h. Project Summary: A listing of pertinent facts about the project such as gross floor area (commercial and industrial building), number of dwelling units and number of bedrooms per dwelling unit (multiple family residential projects), number of off-street parking spaces and net site area.

- i. Property Lines: Show existing property lines and any proposed new property lines to result from lot line adjustments and/or dedications.
- j. Streets and alleys: Show centerline, curbs, gutters, sidewalks, edge of paving (if there are no curbs or gutters).
- k. Easements: Show existing and proposed easements, including off-site easements which serve the site; indicate purpose of all easements.
- l. Buildings and Structures: Show footprints of all existing and proposed structures. Note if any existing buildings and structures are to be removed.
- m. Parking Spaces and Lots: Show parking lots, including all loading spaces and drives.
- n. Sidewalks: Including on-site walkways.
- o. Special Areas: Outdoor storage, playgrounds, etc.
- p. Trash Enclosures: Show footprints
- q. Electrical Transformer Boxes: Show footprints.
- r. Walls and Fences: Show heights (including retaining height) and materials.
- s. Light Standards.
- t. Existing Contours: 2' intervals are required except where slope is too steep to provide a clear drawing (generally at 30%); then show 5' intervals. Contours shall conform to the datum system established by the City's benchmark system. Contours shall be extended 100 feet beyond the boundaries of the site to show adjacent drainage patterns and lot elevations.
- u. Flood Zone: 100 year and floodway boundaries
- v. Existing Trees: Show species and trunk diameter. For all oak trees with diameters of 3" or greater, show horizontal extent of dripline. Identify all trees which are proposed for removal and provide a letter which states the reason for the removal of each tree. Please contact staff if project contains large forested areas.
- w. Watercourses: Show watercourses, 100 year flood zones, and floodway boundaries per the 1981 Flood Insurance Study.
- x. Fire Hydrants.
- y. Power and Telephone Poles: Show location of existing overhead utility poles adjacent to or across from site.

Additional Drawing Requirements

- 10. **PLOT PLANS** – Does not need to include all the drawing requirements for Site Plans, but should include property lines, adjacent streets and alleys, building footprints, tenant spaces, parking spaces, and any other information necessary to clearly explain the proposal. Drawings must be drawn to scale and clearly readable. If the information can be clearly shown on an 8 ½" x 11" sheet, only one copy needs to be submitted. If larger sheets are necessary, 11 copies of the larger sheet plus an 8 ½" x 11" reduction are required.
- 11. **SITE PLANS** – Must include drawing requirements listed above for all plans
- 12. **LANDSCAPE PLANS** – to include drawing requirements for all plans plus the following:
 - a. Landscaping Materials: Show both new materials and existing materials that are proposed to remain on site.
 - 1) Trees: Note species/common names, caliper/diameter, and, for oaks with diameters of 6" or greater, show the horizontal extent of the dripline;
 - 2) Shrubs: Note species/common name and spacing;
 - 3) Groundcover: Note species/common name and spacing.
 - b. Proposed irrigation system: Either plot irrigation lines or indicate by note that all landscaped areas will be irrigated;
 - c. Graded Slopes: Show horizontal limits of cut/fill slopes.

13. **ELEVATIONS -**
- a. **Views:** All side of all buildings shall be shown. Elevations shall be listed by compass direction (North, East, South, West). "Front", "Rear", "Right" and "Left" labels are not acceptable as they are confusing.
 - b. **Materials:** All exterior materials shall be called out.
 - c. **Colors:** all colors shall be called out and shown on a colorboard (e.g. paint samples)
 - d. **Treatment/Textures:** Special treatments (e.g. slumpstone, stamped concrete, etc.) shall be called out.
 - e. **Heating, Ventilating and Air Conditioning (HVAC) Equipment:** The plans shall indicate where the HVAC equipment is to be placed and how it is to be screened.
 - f. **Gas and Electric Meters:** For multiple family residential, commercial, an industrial projects, the plans shall indicate where these meters are to be placed and how they will be screened.
 - g. **Signs:** Show materials and colors. Indicate if illuminated (internally or externally). Sign dimensions shall be called out.
 - h. **Trash Enclosures:** Show materials, colors, dimensions, and enclosing gates.
 - i. **Directories, Mailboxes Structures, Light Standards:** Show materials, colors and dimensions.

14. **PRELIMINARY GRADING AND DRAINAGE – to include all drawing requirements for all plans plus the following:**
- a. **Proposed Grading and Drainage Improvements:** show the following:
 - 1) Cut and fill: Show and state the quantities of cut, fill, and import or export in cubic yards. May be shown via "crows feet" (which will be assumed to represent 2:1 slopes unless otherwise indicated) or with the new contours in heavy lines.
 - 2) Drainage structures (drop inlets, swales, detention basins, etc.);
 - 3) New Elevations (finished floor, paving high points, bottom of curb, etc.) of buildings, walls paving;
 - 4) Cross sections shall be provided in the following instances:
 - o Where the grading is proposed beneath or within 5 feet of the dripline of any oak tree; more than one cross section view through each tree may be required
 - o Through proposed buildings and building pads, more than one cross section view may be required for each building;
 - o Where the grading is proposed adjacent to the boundary of a building site, tract or parcel map, typical grading situations may be represented by one cross section view;
 - o When natural slopes between the street and a garage or parking area are 15% or greater, typical grading situations may be represented by one cross-section view; and
 - o For Tentative Tract Maps and Development Plans, show several cross sections through the site, with exaggerated vertical scale, to give a complete picture of the effect of grading. The cross sections shall show areas with the greatest amount of grading (worst cases).
 - b. **Sewer and Septic Improvements:** Show sewer mains (show size and gradients), manhole locations (show invert locations), lift stations, and septic tanks and leach fields.
 - c. **Water System Improvements:** Show water mains (size and location), location of water meters (for multiple residential, commercial, and industrial units), fire hydrants, and existing wells.

15. **TENTATIVE TRACTS AND PARCEL MAPS – to include drawing requirements for all plans plus the following:**
- a. **Licensed Engineer or Surveyor Who Prepared Map:** Show name, license number, mailing address and phone number.
 - b. **Legal Description:** place under tract or parcel number; Begin with "Being a subdivision of..."
 - c. **Tract or Parcel Number**
 - d. **Subdivision Boundaries:** Show tract or parcel map boundaries with a heavy line; dimension all boundaries.
 - e. **Lot Lines:** Show proposed lot lines with solid light lines; show existing (underlying) lot lines with dashed light lines; show dimensions for all lot lines; show corner radii;
 - f. **Lot Numbers:** Assign a number to all lots;

- g. Lot sizes: Indicate on all lots
- h. Street Lines: Show centerline, existing right-of-way lines, dedications or offers to dedicate; dimension all widths for all interior and abutting streets;
- i. Street Cross Sections: Show a cross section detail for all interior and abutting streets;
- j. Street Names: Show names of existing streets and label all proposed interior streets with letters (e.g. "A" Street, "B" Court, etc.). All street names will be assigned by the Planning Commission prior to final map approval; a list of suggested street names may be submitted with the tentative map;
- k. Street Gradients: Indicate the approximate gradient of all streets.
- l. Adjacent Properties: Show names of owners and all record information (numbers of tracts, parcel maps, certificates of compliance, records of surveys, easements, etc.) for all surrounding properties.
- m. Sewer and Water Mains: Show locations and size of existing sewer and water mains to be connected to the tract's or parcel map's lots; show location of lift stations if proposed/required; show any existing septic systems and wells.
- n. Storm Water Detention Basins: Show area of any proposed detention basins.
- o. Acreage: Indicate the acreage of the tract or parcel map (after any dedications for streets along the perimeter of the subject property) to the nearest 1/100 acre.
- p. Phases: Please identify development phasing plan for installation and construction of public improvements and development construction. It is city policy that a subdivision may not be signed off until all improvements are completed for that phase. For this reason, it may be in your best interest to have smaller phases.
- q. Final Map Recordation: If the subdivision is approved, the applicant is required to submit a copy of the final map after recordation with the county clerk in the latest AutoCAD format.

- 16. **COMMERCIAL / INDUSTRIAL PLANNED DEVELOPMENT** – Please indicate sewer and water use projections for all commercial and industrial development
- 17. **RESIDENTIAL PLANNED DEVELOPMENT** – see handout entitled “Drawing Requirements for Residential Planned Development